

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 26, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of minutes for the September 12, 2023 Planning and Zoning Commission meeting.

(3) **P2023-030 (BETHANY ROSS)**

Consider a request by Ashley Egan for the approval of a Final Plat for Lot 1, Block A, Reborn Skin Addition being a 0.51-acre tract of land identified as Block 80B of the B.F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street, and take any action necessary.

(4) **SP2023-031 (HENRY LEE)**

Consider a request by Scott Lewis of Scott Lewis Homes on behalf of Kris Sharp for the approval of an Amended Site Plan for a Warehouse/Office Building on a 1.914-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, generally located on the south side of Springer Road west of the intersection of Springer Road and Data Drive, and take any action necessary.

(V) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(5) **MIS2023-013 (ANGELICA GUEVARA)**

Discuss and consider a request by Audrey Andrews for the approval of a Miscellaneous Case for an Exception for a Front Yard Fence for a 0.1446-acre parcel of land identified as Lot 6, Block D, Lynden Park Estates, Phase 2 Addition, zoned Planned Development District 17 (PD-17) for single-family detached, addressed as 146 Blanchard Drive, and take any action necessary.

(6) **SP2023-029 (HENRY LEE)**

Discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of an Amended Site Plan for two (2) Restaurant/Retail Buildings on an 8.63-acre tract of land identified as Tract 3-10 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

(VI) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is October 10, 2023.

(7) **Z2023-045 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Cari Foote of CFPC Investments, LLC for the approval of a Zoning Change amending Planned Development District 50 (PD-50) [*Ordinance No. 17-19*] for the purpose of allowing the *General Personal Services* land use by Specific Use Permit (SUP) for all properties within the district, being a 21.266-acre tract of land situated within the S. S. McCurry Survey, Abstract No. 146 and B. F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, generally located along N. Goliad Street [*SH-205*] north of Olive Street and south of Live Oak Street, and take any action necessary.

(8) **Z2023-046 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes, LLC on behalf of Ruben Fragoso of RSR Capital, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.22-acre parcel of land identified as Lot C, Block 112, B. F. Boydton Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 715 Sherman Street, and take any action necessary.

(9) **Z2023-047 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a Specific Use Permit (SUP) for *Tennis Courts (Pickleball Courts)* on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.

(10) **Z2023-048 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisitions for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In* for the purpose of constructing a restaurant (*i.e. HTeaO*) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [*SH-205*] and Bordeaux Drive, and take any action necessary.

(11) **P2023-029 (BETHANY ROSS)**

Discuss and consider a request by Dakota and Claire Brewer for the approval of a Final Plat for Lots 1-3, Block A, Brewer Bend Addition being a 5.41-acre tract of land identified as Tract 4-2 and a portion of Tract 4-06, of the W.W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 4.0 (SFE-4.0) District, addressed as 626 Cullins Road, and take any action necessary.

(12) **SP2023-032 (HENRY LEE)**

Discuss and consider a request by Salvador Salcedo for the approval of a Site Plan for an *Office/Warehouse Building* on a 0.45-acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

(13) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- Z2023-038: Zoning Change for an Amendment to Planned Development District 3 (PD-3) (**1ST READING; APPROVED**)
- Z2023-039: Text Amendment to Article 05, *District Development Standards*, of the Unified Development Code (UDC) (**1ST READING; APPROVED**)
- Z2023-040: Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for 1325 Breezy Hill Lane (**1ST READING; APPROVED**)
- Z2023-041: Zoning Change (AG & LI to C) (**1ST READING; APPROVED**)
- Z2023-042: Specific Use Permit (SUP) for a *Restaurant, with 2,000 SF of More, with Drive-Through or Drive-In* at 3611 & 3775 N. Goliad Street [*SH-205*] (**1ST READING; APPROVED**)
- Z2023-043: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 303 Harborview Drive (**1ST READING; APPROVED**)

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on September 22, 2023 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION MEETING CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS SEPTEMBER 12, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

I. CALL TO ORDER

Chairman Deckard called the meeting to order at 6:00 PM. Commissioners present were Brian Llewelyn, Kyle Thompson, Jay Odom, Ross Hustings, and Jean Conway. Absent from the meeting was Vice-Chairman John Womble. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn Price.

II. APPOINTMENTS

1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.
2. Appointment with Audrey Andrews to consider a request to submit a new development application for an *Exception* for a front yard fence in accordance with Subsection 01.05, *Reapplication*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and take any action necessary.

Commissioner Llewelyn made a motion to approve Audrey Andrews to submit a new application for an Exception. Commissioner Hustings seconded the motion which passed by a vote of 6-0.

III. OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being no one indicating such, Chairman Deckard closed the open forum.

IV. CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

3. Approval of minutes for the August 15, 2023 Planning and Zoning Commission meeting.
4. Approval of minutes for the August 29, 2023 Planning and Zoning Commission meeting.
5. **SP2023-026 (HENRY LEE)**
Discuss and consider a request by Erica Papan of Milkshake Concepts on behalf of James Faller of Milkshake Concepts for the approval of an *Amended Site Plan* for a *Restaurant* on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of Sunset Ridge Drive and the IH-30 Frontage Road, and take any action necessary.
6. **SP2023-027 (HENRY LEE)**
Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC for the approval of an *Amended Site Plan* for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

Commissioner Conway made a motion to approve the Consent Agenda. Commissioner Llewelyn seconded the motion which passed by a vote of 6-0.

V. PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

65 7. **Z2023-038 (RYAN MILLER)**

66 Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change amending Planned Development District 3
67 (PD-3) [Ordinance No.'s 72-02, 77-19A, 80-33, 84-59, 86-23, 86-39, 89-04, 96-35 & 96-23] for the purpose of consolidating the regulating ordinances for a
68 639.264-acre tract of land situated within the T. Dean Survey, Abstract No. 69; S. King Survey, Abstract No. 131; N. Butler Survey, Abstract No. 21; and, A. Hanna
69 Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 3 (PD-3), generally located south of Dalton Road, west
70 of SH-205 [S. *Goliad Street*], and north of Lake Forest Drive, and take any action necessary.

71
72 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The City of Rockwall is requesting the process of**
73 **initiating the Zoning to change or amend older districts. The purpose of this is to make the zoning easier to understand for the city's external**
74 **customers, home owners, developers, and citizens. Another reason would be to make the zoning easier to interpret internally by staff. Planned**
75 **Development Districts tend to involve a lot of ordinances and the older they are the more ordinances they have. These ordinances then get stacked**
76 **on top of each other instead of being superseded which then leads to interpretation problems unless you know exactly when those ordinances were**
77 **written and for what purpose. The purpose for this request is to consolidate the ordinances. Staff is not trying to make any changes to the**
78 **requirements, land use standards, concept plans or development standards. The Shores Subdivision which is zoned Planned Development District 3**
79 **(PD-3) was originally adopted in 1972 and currently consists of 116 pages of regulations with 11 regulating ordinances and over 85 cases. Director**
80 **Miller added that subdivisions are constantly changing and this makes it easier for staff to research. Staff mailed out 2,260 notices to occupants and**
81 **property owners within 500-feet of the subject property and notified all HOAs that were within 1,500-feet of the subject property. To date, staff has**
82 **received five (5) notices back with one (1) email in favor of the amendment and 2 notices being opposed of the request.**

83
84 **Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating**
85 **such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.**

86
87 **Commissioner Llewelyn made a motion to approve Z2023-038. Commissioner Hustings seconded the motion which passed by a vote of 6-0.**

88
89 **Chairman Deckard advised that this item will go before City Council on September 18, 2023.**

90
91 8. **Z2023-039 (RYAN MILLER)**

92 Hold a public hearing to discuss and consider approval of a Text Amendment to Subsection 06.16, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article
93 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of creating a process to allow Homeowner's
94 Associations (HOA's) the ability to lease certain portions of the takeline, and take any action necessary.

95
96 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. In August of this year the City Council directed Staff**
97 **to amend the Lake Ray Hubbard Takeline Overlay District. The purpose behind this is to allow certain Homeowner Associations the ability to make**
98 **improvements in the takeline area in areas that are otherwise unleaseable in exchange for the necessary erosion control measures. This will only affect**
99 **four (4) Homeowner Associations (HOAs) based on our current leasing map and these would be: Chandlers Landing, Signal Ridge Subdivision, Waters**
100 **Edge Subdivision at Lake Ray Hubbard and the Lakeside Village Subdivision. The amendment prepared by staff would create the following**
101 **requirements for the lease of the takeline for Homeowner Associations. The way this is structured is they would need to go ahead and do a site plan**
102 **and it would need to go to the Planning and Zoning Commission. Once the site plan is approved it would need to be incorporated into the lease**
103 **agreement itself and approve the activity areas.**

104
105 **Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time.**

106
107 **Bob Wacker**
108 **309 Featherstone Drive**
109 **Rockwall, TX 75087**

110
111 **Mr. Wacker came forward and expressed his being in favor of the request.**

112
113 **After discussion, Commissioner Conway made a motion to approve Z2023-039. Chairman Deckard seconded the motion which passed by a vote of 6-**
114 **0.**

115
116 **Chairman Deckard advised that this item will go before City Council on September 18, 2023.**

117
118 9. **Z2023-040 (ANGELICA GUEVARA)**

119 Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent*
120 *to an Established Subdivision* on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas,
121 zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.

122
123 **Planning Technician Guevara provided a brief summary in regards to the request. The applicant is requesting an approval of a Specific Use Permit**
124 **(SUP) to construct a single-family home on the lot. The proposed home meets all of the density and dimensional requirements for a home in an**
125 **Agricultural (AG) District. During the last meeting, staff mentioned that the applicant needed to correct the front yard setback on their site plan which**
126 **they did correct and the changes have been reflected in the ordinance. Staff mailed out notices to property owners and occupants within 500-feet of**
127 **the subject property. At this time, staff had received one (1) response to the Online SUP Input Form in opposition to the applicants request.**

128
129 **Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating**
130 **such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.**

131
132 **Commissioner Llewelyn made a motion to approve Z2023-040. Commissioner Conway seconded the motion which passed by a vote of 6-0.**

133
134 Chairman Deckard advised that this item will go before City Council on September 18, 2023.
135

136 10. Z2023-041 (RYAN MILLER)

137 Hold a public hearing to discuss and consider a request by Anthony Loeffel of Kimley-Horn on behalf of James Melino of Rockwall 549/I-30 Partners, LP and
138 Conveyor I30 Partners, LP for the approval of a Zoning Change from a Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District for a
139 66.057-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County,
140 Texas, zoned Agricultural (AG) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest
141 corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.
142

143 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant is requesting approval for a zoning
144 change from Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District. When looking at the Future Land Use map, the
145 subject property is designated as a Special Commercial Corridor which is designated for Commercial or Planned Development District land uses. The
146 applicant is zoning this in conformance and has indicated that the purpose of the zoning request is to facilitate the future conveyance of the property.
147 Staff mailed out 30 notices to property owners and occupants within 500-feet of the subject property. At this time, staff had not received any notices
148 back regarding the request.
149

150 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating
151 such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.
152

153 Commissioner Odom made a motion to approve Z2023-041. Commissioner Thompson seconded the motion which passed by a vote of 6-0.
154

155 Chairman Deckard advised that this item will go before City Council on September 18, 2023.
156

157 11. Z2023-042 (HENRY LEE)

158 Hold a public hearing to discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shane Shoulders of Kennor Rockwall
159 Retail, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant, with 2,000 SF or More, with Drive-Through or Drive-In on a 1.93-acre parcel of land
160 identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North
161 SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and take any action necessary.
162

163 Planner Lee provided a brief summary in regards to the request. The applicant is requesting approval for a SUP for a Restaurant with 2,000 SF or more
164 with a Drive Through. At the previous meeting, staff had discussed the landscape buffer on the north side and the clustering of landscape on the
165 northeast corner to provide additional screening on the property. They will also be including conditional landscaping along the drive-through for
166 headlight screening. Staff mailed out 44 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Castle
167 Ridge, Harlan Park, Stone Creek and Rockwall Shores Homeowner Associations. Staff received two (2) notices back in opposition of the request.
168

169 Commissioner Llewelyn asked if the drive-through would have to go on that side of the subdivision.
170

171 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time.
172

173 Juan Vasquez
174 1919 S. Shiloh Road
175 Garland, TX 75042
176

177 Mr. Vasquez came forward and provided additional details in regards to the request.
178

179 Chairman Deckard asked if anyone else wished to speak; there being no one indicating such, Chairman Deckard closed the public hearing and brought
180 the item back to the Commission for discussion or action.
181

182 Commissioner Conway made a motion to approve Z2023-042. Commissioner Llewelyn seconded the motion which passed by a vote of 6-0.
183

184 Chairman Deckard advised that this item will go before City Council on September 18, 2023.
185

186 12. Z2023-043 (HENRY LEE)

187 Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a Specific Use Permit (SUP) for Residential Infill In an Established
188 Subdivision on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned
189 Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.
190

191 Planner Lee provided a brief summary in regards to the request. The applicant is requesting approval for a SUP for Residential Infill. The elevations
192 provided by the applicant meet the density and dimensional requirements. At this time, staff received a letter from the Chandlers Landing Architectural
193 Review Board Committee stating they do not allow flat roofs; however, after looking at the housing in the area there did appear to be other flat roofs
194 or near flat roofs within the subdivision. The Committee forwarded that to the applicant but have not received any changes at this time. Staff mailed
195 out 53 notices to property owners and occupants within 500-feet of the subject property. Staff also notified numerous HOAs within 1500-feet of the
196 subject property.
197

198 Commissioner Llewelyn asked how it would affect the HOA if they approved this.
199

200 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time.

201
202 **Jeff Macalik**
203 **6102 Volunteer Place**
204 **Rockwall, TX 75032**
205

206 **Mr. Mackalik came forward and provided additional details in regards to the request.**
207

208 **Chairman Deckard asked if anyone else wished to speak; there being no one indicating such, Chairman Deckard closed the public hearing and brought**
209 **the item back to the Commission for action or discussion.**
210

211 **Commissioner Conway asked what would happen if they did approve this request.**

212 **Commissioner Llewelyn asked about the roof in regards to the variance.**
213

214 **Chairman Deckard made a motion to approve Z2023-043. Commissioner Hustings seconded the motion which passed by a vote of 6-0.**
215

216 **Chairman Deckard advised that this item will go before City Council on September 18, 2023.**
217

218 **VI. ACTION ITEMS**
219

220 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*
221 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*
222

223 **13. SP2023-025 (HENRY LEE)**

224 Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of Brad Helmer of Heritage Christian Academy for the approval of a Site
225 Plan for a new building in conjunction with an existing Private School on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy
226 Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed
227 as 1408 S. Goliad Street, and take any action necessary.
228

229 **Planner Lee provided a brief summary in regards to the request. The applicant is requesting approval of a site plan for a new classroom building. They**
230 **are requesting variances to the building for the articulation and for the material requirements. With that being said, the proposed building is tucked**
231 **behind. In addition, staff should note that this new building will meet the needs of the classroom requirements so the portable buildings they have on**
232 **site will be removed.**
233

234 **Phillip Craddock**
235 **551 Embargo Drive**
236 **Fate, TX 75189**
237

238 **Mr. Craddock came forward and provided additional details in regards to the request.**
239

240 **Commissioner Llewelyn made a motion to approve SP2023-025. Commissioner Conway seconded the motion which passed by a vote of 6-0.**
241

242 **14. SP2023-030 (HENRY LEE)**

243 Discuss and consider a request by Lynn Rowland of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Site
244 Plan for the expansion of an existing Motor Vehicle Dealership (i.e. Clay Cooley Hyundai) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall
245 Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed
246 as 1540 E. IH-30, and take any action necessary.
247

248 **Planner Lee provided a brief summary in regards to the request. The applicant is requesting a site plan for the expansion of an existing Motor Vehicle**
249 **Dealership (Clay Cooley) since they just had their amended SUP pass. Staff noted that the ARB made a motion to approve of the elevations to the site**
250 **plan. They did have one condition which was to extend the parapet around the building to the other side. Also, they do have five (5) variances**
251 **associated with this request and staff did identify an additional one for the roof pitch standards.**
252

253 **Commissioner Conway made a motion to approve SP2023-030. Chairman Deckard seconded the motion which passed by a vote of 6-0.**
254

255 **VII. DISCUSSION ITEMS**
256

257 **15. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).**
258

- 259 • P2023-023: Final Plat for Lot 1, Block A, Right at Home Healthcare Addition (**APPROVED**)
- 260 • P2023-024: Final Plat for Lots 1 & 2, Block A, Barrett Heights Addition (**APPROVED**)
- 261 • P2023-025: Replat for Lot 2, Block A, Heritage Christian Academy Addition (**APPROVED**)
- 262 • P2023-026: Replat for Lot 3, Block A, Heritage Christian Academy, Phase 2 Addition (**APPROVED**)
- 263 • P2023-027: Final Plat for Lots 1 & 2, Block A, Airport South Addition (**APPROVED**)
- 264 • P2023-028: Replat for Lot 3, Block 1, Indalloy Addition (**APPROVED**)
- 265 • Z2023-032: Specific Use Permit (SUP) for an existing Motor Vehicle Dealership at 1540 E. IH-30 (**2ND READING; APPROVED**)
- 266 • Z2023-033: Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for 803 Dalton Road (**2ND READING; APPROVED**)
- 267 • Z2023-034: Zoning Change from Single-Family Estates 4.0 (SFE-4.0) to a Single-Family Estate 1.5 (SFE-1.5) District for 626 Cullins Road (**2ND READING;**
268 **APPROVED**)

- 269 • Z2023-035: Specific Use Permit (SUP) for a *Golf Driving Range* for Texas Wedge (2ND READING; APPROVED)
270 • Z2023-036: Specific Use Permit (SUP) for a *Carport* for 820 E. Heath Street (2ND READING; APPROVED)
271 • Z2023-037: Specific Use Permit (SUP) for an *Accessory Building* at 1796 Mystic Street (2ND READING; APPROVED)
272

273 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.**
274

275 VIII. ADJOURNMENT
276

277 **Chairman Deckard adjourned the meeting at 6:58PM.**
278

279 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
280 _____, 2023.
281

282 _____
283 Derek Deckard, Chairman
284

284 Attest:

285 _____
286 Melanie Zavala, Planning Coordinator
287



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 26, 2023
APPLICANT: Ashley Egan
CASE NUMBER: P2023-030; *Final Plat for Lot 1, Block A, Reborn Skin Addition*

SUMMARY

Consider a request by Ashley Egan for the approval of a Final Plat for Lot 1, Block A, Reborn Skin Addition being a 0.51-acre tract of land identified as Block 80B, B.F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting the approval of a Final Plat for a 0.51-acre parcel of land (*i.e. Block 80B, B.F. Boydston Addition*) for the purpose of creating one (1) lot (*i.e. Lot 1, Block A, Reborn Skin Addition*) and establishing access, fire lane, and utility easements necessary to convert a single-family home into a 1,182 SF office building.
- Background. The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. At some point after August 25, 1934 the subject property was platted as Block 80B, B. F. Boydston Addition. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. This designation changed between January 4, 1972 and May 15, 1983 to a Single-Family 7 (SF-7) District based on the May 16, 1983 zoning map. According to the Rockwall Central Appraisal District (RCAD), the 1,280 SF single-family home situated on the subject property was constructed in 1980. On April 2, 2018, the City Council approved a zoning change [*Case No. Z2018-007*] for the subject property from Single-Family (SF-7) District to Residential-Office (RO) District. On February 12, 2019, the Planning and Zoning Commission approved a site plan [*Case No. SP2019-002*] to allow the conversion of the existing single-family home into a 1,182 SF office building. On June 15, 2021, the Planning and Zoning Commission approved an amended site plan [*Case No. SP2021-014*]; however, the applicant of this case did not make the improvements required by the approved site plan, and no changes have been made to the subject property since it was originally utilized as a single-family home. On May 9, 2023, the Planning and Zoning Commission approved an amended site plan [*Case No. SP2023-014*] to allow the conversion of the existing single-family home into a 1,182 SF office building.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for *Lot 1, Block A, Reborn Skin Addition* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Final Plat; and,

- (2) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/21/2023

PROJECT NUMBER: P2023-030
PROJECT NAME: Final Plat for Lot 1, Block A, Reborn Skin Addition
SITE ADDRESS/LOCATIONS: 108 ST MARYS ST

CASE CAPTION: Consider a request by Ashley Egan for the approval of a *Final Plat* for Lot 1, Block A, Reborn Skin Addition being a 0.51-acre tract of land identified as Block 80B, B.F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	09/19/2023	Approved w/ Comments

09/19/2023: P2023-030: Final Plat for Lot 1, Block A, Reborn Skin Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Ashley Egan for the approval of a Final Plat for Lot 1, Block A, Reborn Skin Addition being a 0.51-acre tract of land identified as Block 80B, B.F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2023-030) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

Final Plat
Lot 1, Block A
Reborn Skin Addition
Being a replat of
Block 80B, B.F. Boydston Addition
Being one (1) lot
0.51-Acres Or 22,296 SF
Situated within the
City of Rockwall, Rockwall County, Texas

M.5 Please provide the following Signature Block on the second page. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CHAIRMAN

CITY SECRETARY

CITY ENGINEER

M.6 Provide the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- (5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

M.7 Provide the new Owner's Certificate of Dedication. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Indicate all existing and proposed corner clips and any subsequent dedication. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Record all owners of contiguous parcels of subdivided land, names and lot patterns of contiguous subdivisions adjoining platted land by record name and by deed record volume and page. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.11 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: September 26, 2023
City Council: October 2, 2023

I.12 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/19/2023	Approved w/ Comments

09/19/2023: 1. Building line is missing.

2. Show building setbacks on the plat per the city checklist. Site Plan shows a 25' BL along the frontage and a 10' BL along the side.

3. Call out 100yr WSEL of the detention system. FFE of the proposed building must be 2' above the 100yr WSEL. Call out minimum FFE.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/18/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/18/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Bethany Ross	09/21/2023	N/A

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 108 Saint Mary St. Rockwall, TX 75087

SUBDIVISION B.F. Boydston

LOT 1 BLOCK _____

GENERAL LOCATION Near St. Mary St and S. Funnin St.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Mixed use

CURRENT USE office (vacant)

PROPOSED ZONING mixed use

PROPOSED USE office

ACREAGE 0.51

LOTS [CURRENT] 1

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Ashley Egan

APPLICANT _____

CONTACT PERSON Justine Jones

CONTACT PERSON _____

ADDRESS 109 Saint Mary St.

ADDRESS _____

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP _____

PHONE (504) 630-1392

PHONE _____

E-MAIL justjones18@yahoo.com

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

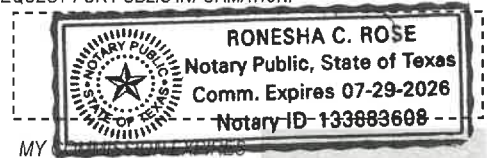
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ashley Egan [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

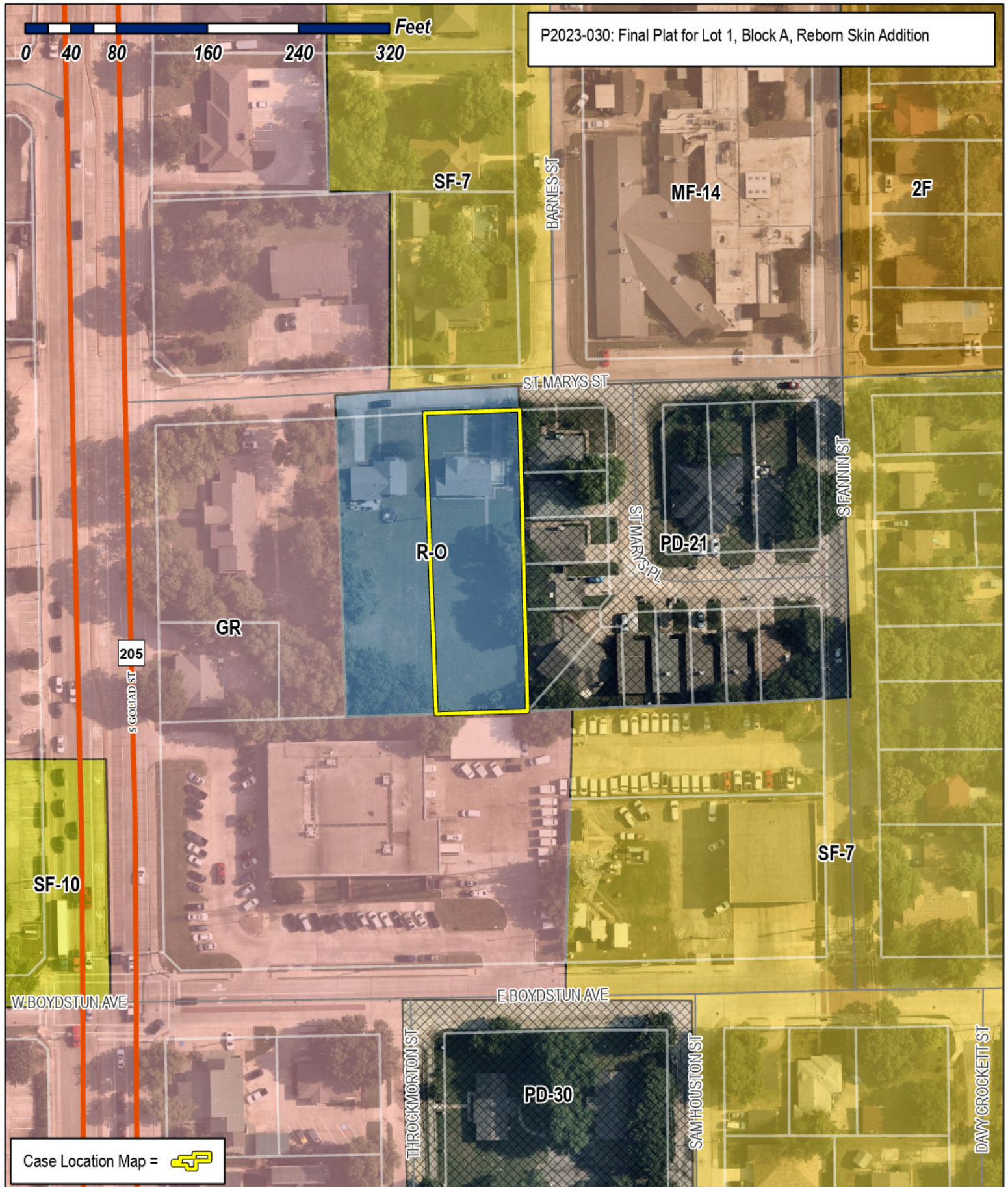
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF September, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF September, 2022.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





P2023-030: Final Plat for Lot 1, Block A, Reborn Skin Addition

0 40 80 160 240 320 Feet

Case Location Map =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 26, 2023
APPLICANT: Scott Lewis; *Scott Lewis Homes*
CASE NUMBER: SP2023-031; *Amended Site Plan for 3301 Springer Road*

On August 10, 2021, the Planning and Zoning Commission approved a Site Plan [Case No. SP2021-015] to allow the construction of a new *Office/Warehouse* building on the subject property at 3301 Springer Road. As part of the Site Plan case, the Planning and Zoning Commission approved building elevations that incorporated stone, brick, and stucco. The stone was utilized at the primary entries to the building and as a wainscot around the building. The brick was utilized as a cap to provide a break between the stone and stucco, and the stucco was used on the remainder of the building facades. Recently, the applicant notified staff that they wanted to replace the stucco for brick due to the costs associated with using three (3) part stucco. Since this was deemed a substantial change to the approved building elevations, staff required the applicant to submit a development application for an *Amended Site Plan*. Based on the provided building elevations, the only change to the building elevations is the removal of the stucco for brick. Given this, the proposed change to the building elevations does not change the *Office/Warehouse* buildings' conformance to the Unified Development Code (UDC), and staff has placed this *Amended Site Plan* on the consent agenda for approval. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the September 26, 2023 Planning and Zoning Commission meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2023

PROJECT NUMBER: SP2023-031
PROJECT NAME: Amended Site Plan for 3301 Springer Drive
SITE ADDRESS/LOCATIONS: 3301 SPRINGER RD

CASE CAPTION: Consider a request by Scott Lewis of Scott Lewis Homes on behalf of Kris Sharp for the approval of an Amended Site Plan for a Warehouse/Office Building on a 1.914-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, generally located on the south side of Springer Road west of the intersection of Springer Road and Data Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	09/21/2023	Approved w/ Comments

09/21/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Warehouse/Office Building on a 1.914-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, generally located on the south side of Springer Road west of the intersection of Springer Road and Data Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-031) in the lower right-hand corner of all pages on future submittals.

I.4 The approved Final Plat will need to be filed before the issuance of a Certificate of Occupancy (CO).

M.5 Provide the City standard Site Plan Signature Block on all sheets of the plans. Please remove the bracketed wording and leave a blank space for the date.

M.6 Building Elevations:

1) The parapet is required to be finished on both sides with the same material as the external facing façade. In this case, the parapet must be finished on both sides with the proposed brick. Given this, please provide a note indicating this requirement. (Subsection 03.04(A) of Article 11, UDC)

M.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 10, 2023 Planning & Zoning Meeting.

I.8 Please note the scheduled meetings for this case:

(1) Planning & Zoning meeting will be held on September 26, 2023

I.9 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 PM. The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request. Please also note the Architecture Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attends this meeting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/19/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/21/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/18/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/18/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	09/22/2023	N/A
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 3301 SPRINGER

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE _____

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE _____

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

KRIS SHARP

APPLICANT

SCOTT LEWIS HOMES

CONTACT PERSON

156 BRENTWOOD

CONTACT PERSON

SCOTT LEWIS

ADDRESS

ADDRESS

216 ST. ANDREWS

CITY, STATE & ZIP

HEATH TX 75032

CITY, STATE & ZIP

HEATH TX 75032

PHONE

214-392-0689

PHONE

214-668-8321

E-MAIL

KRIS.SHARP@SHARPINSULATION.COM

E-MAIL

SCOTTLEWISHOMES@GMAIL.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kris Sharp [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 15 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF September 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

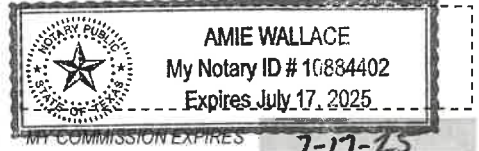
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF September 2023

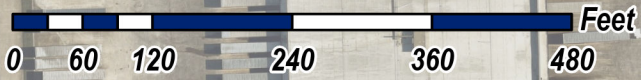
OWNER'S SIGNATURE

[Signature]

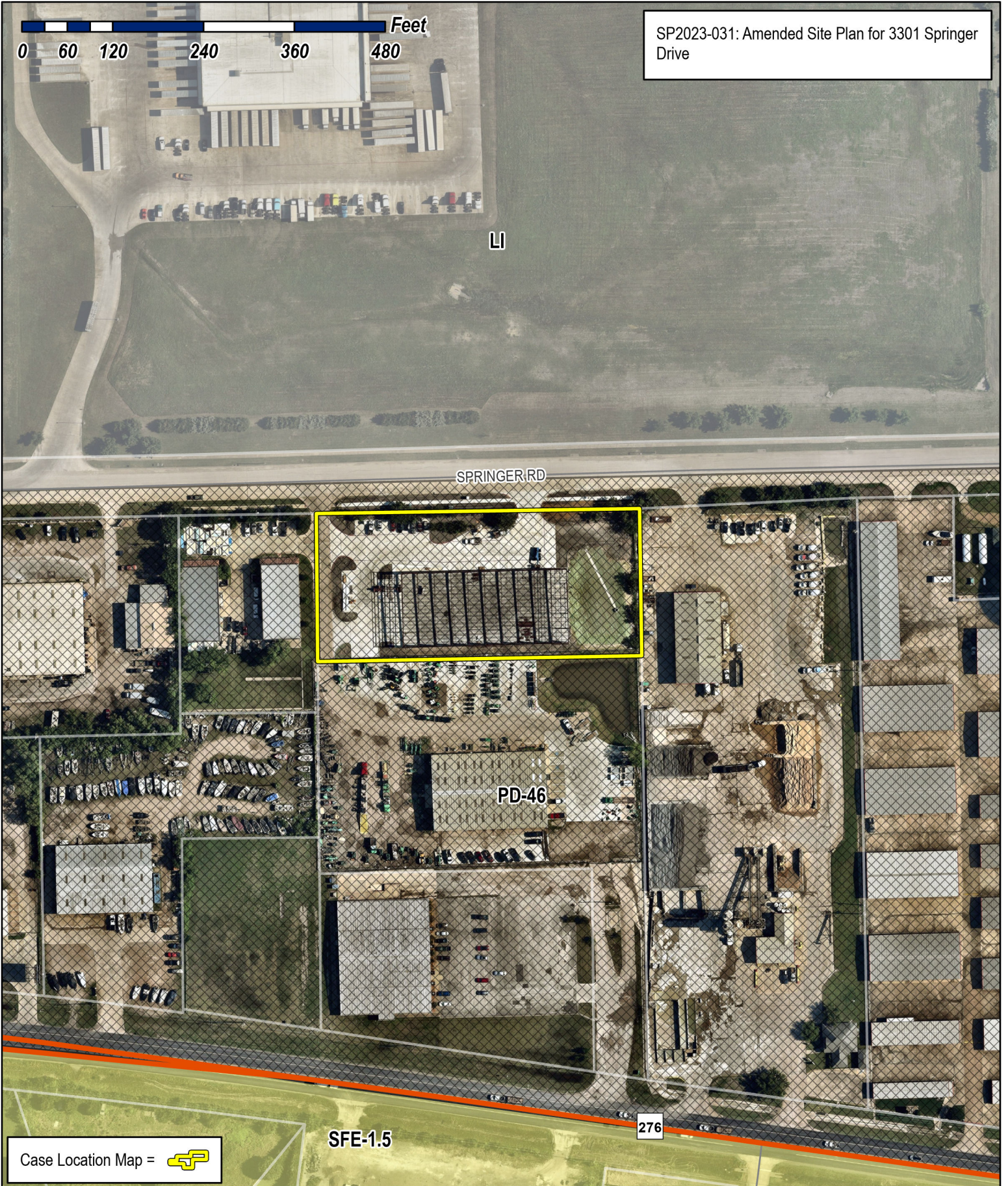
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


[Signature]





SP2023-031: Amended Site Plan for 3301 Springer Drive



Case Location Map = 



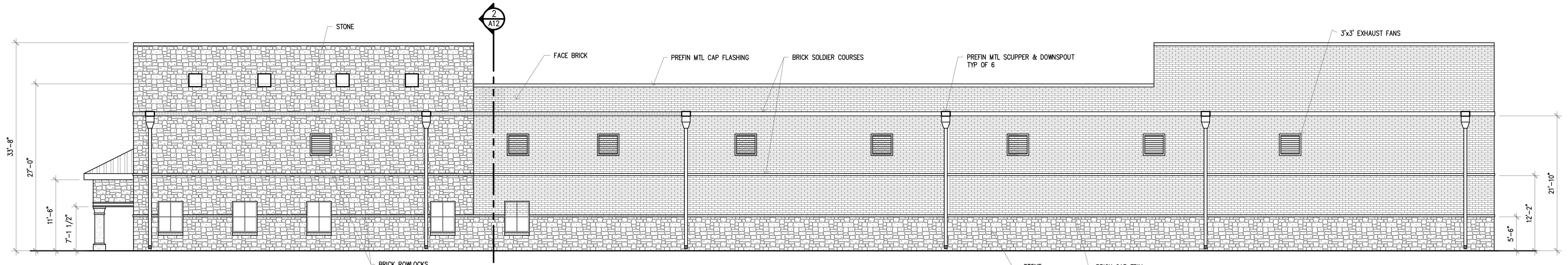
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

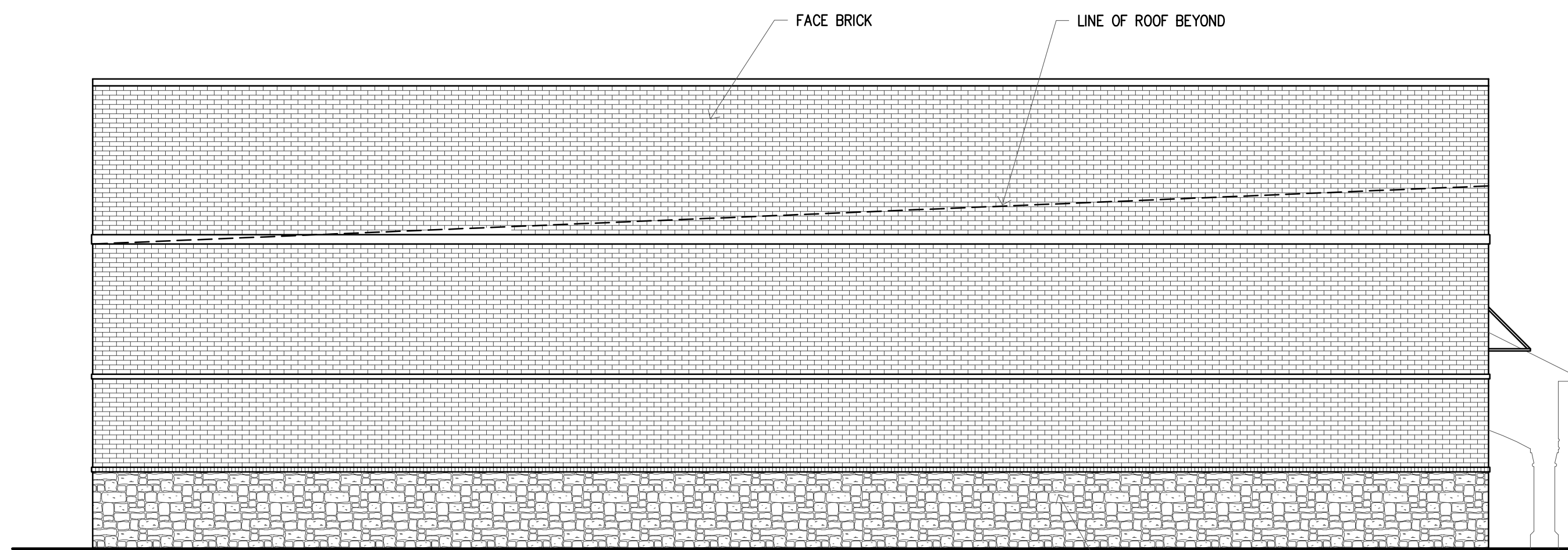
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



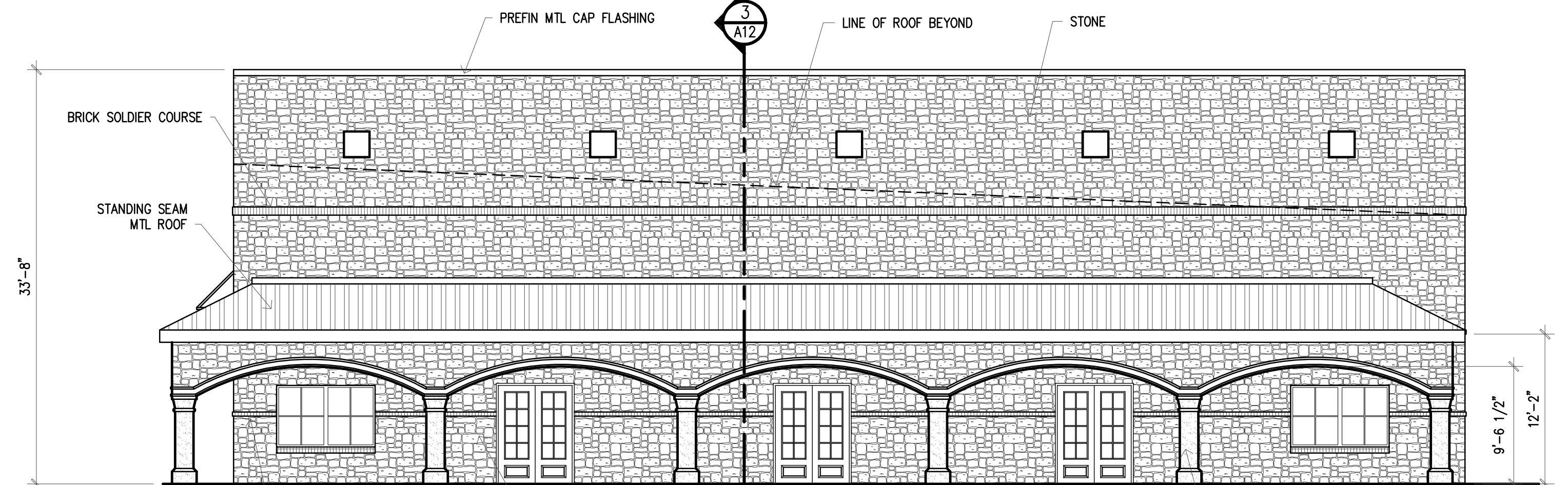
CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



SOUTH ELEVATION
41% STONE 59% BRICK

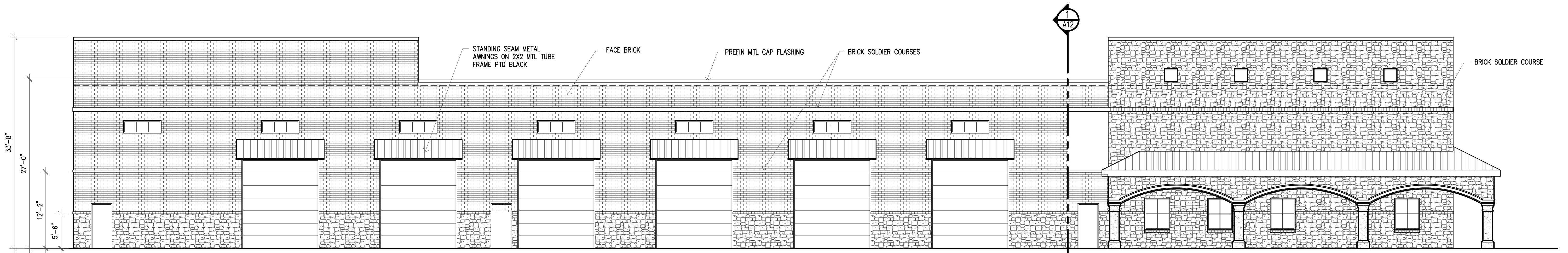


EAST ELEVATION
17% STONE 83% BRICK



WEST ELEVATION
100% STONE

NOTE: BACK SIDE OF PARAPETS SHALL BE FINISHED WITH CEMENT BOARD AND PAINTED TO MATCH STUCCO.



NORTH ELEVATION
41% STONE 59% BRICK

NOTE: BACKSIDE OF ALL PARAPET WALLS SHALL BE FINISHED WITH BRICK VENEER TO MATCH FACE BRICK ON FRONT ELEVATIONS

ARCHITECTURAL ELEMENTS

1. AWNINGS
2. ARCHES
3. ARTICULATED BASE
4. MOLDING TRIM
5. VARIED ROOF HEIGHTS
6. RECESS ENTRY
7. CLEAR STORY WINDOWS

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the _____, 2021.

WITNESS OUR HANDS, this _____ day of _____

Planning & Zoning Commission, Chairman Director of Planning and Zoning

PRICING & CONSTRUCTION GENERAL NOTES:

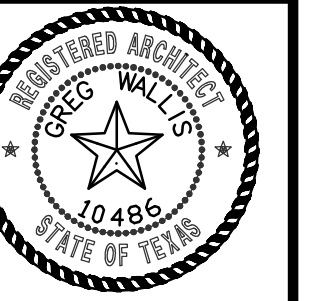
1. THESE DRAWINGS ARE DIAGNOSTIC IN NATURE AND ARE NOT INTENDED TO BE BUILT AS SHOWN. EACH AND EVERY FITTING, OFFSET, OR OTHER APPEARANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT (IN WRITING) BEFORE BEGINS THIS PROJECT.
4. AFTER WORK IS ISSUED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

OWNER
SHARP INSULATION
2225 HWY 75E
ROCKWALL, TEXAS 75086
972-982-0669
CASE #SP2021-015

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WITHOUT PERMISSION FROM MERSHAWN.

RESIDENTIAL RESTAURANTS
MEDICAL COMMERCIAL CHURCHES
INSTITUTIONAL
MERSHAWN ARCHITECTS
1520 E INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 469-745-1701

Revised Per City Comments	Revised	Date	By
1	9/19/23		



SHARP WAREHOUSE III
ROCKWALL, TEXAS
EXTERIOR ELEVATIONS

Scale: 1/8" = 1'-0"
Date: 06/10/2022
Project No.: 210106
Designed: GW
Drawn: GW
Checked: WM

SHEET
A4 OF
16



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Angelica Guevara, *Planning Technician*

DATE: September 26, 2023

SUBJECT: MIS2023-013; *Exception for a Front Yard Fence for 146 Blanchard Drive*

The applicant, Audrey Andrews, is requesting the approval of an exception for a front yard fence. The subject property is located on a 0.1446-acre parcel of land (*i.e. Lot 6, Block D, Lynden Park Estates, Phase 2 Addition*), and is addressed as 146 Blanchard Drive. The applicant's fence exhibit indicates that the proposed front yard fence will be: [1] constructed using wrought-iron, [2] be 48-inches in height, and [3] will be more than 50.00% transparent.



FIGURE 1: EXAMPLES OF PROPOSED FENCE

On August 29, 2023, the Planning and Zoning Commission denied a request for an *Exception* [*i.e. Case No. MIS2023-011*] for a front yard fence that exceeded the height requirements. On August 30, 2023, the applicant chose to resubmit a request to waive the one (1) year time limitation to resubmit an application for an *Exception* for a front yard fence. Ultimately, on September 12, 2023, the Planning and Zoning Commission approved the

applicant's request to resubmit an application for an *Exception* for a front yard fence on the subject property. According to Article 13, *Definitions*, of the Unified Development Code (UDC), a fence is defined as "(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure." In addition, Subsection 08.03(D)(2) of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) states that, "(n)o fence shall be constructed in the front yard of a residential property without being granted an exception from the Planning and Zoning Commission..." This section goes on to lay out the criteria to be considered by the Planning and Zoning Commission when reviewing exceptions for front yard fences. This criterion is as follows: (a) the fence is to be 50.00% transparent, (b) the fence shall not exceed four (4) feet (*or 48-inches*) in height, and (c) opaque fences should be prohibited. In this case, the applicant meets all the requirements for an *Exception* for a front yard fence. Staff should point out that there is one (1) other home with a wrought-iron, front yard fence (*i.e. 597 Pendleton Drive*) in the same subdivision (*i.e., Lynden Park Subdivision, Phase 2*).

Staff should note that the front yard fence requirements were written with the intent of restricting front yard fences that completely or partially enclose or impair visibility of the primary structure, and that the applicant's fence does not appear to be intended to enclose or impair visibility of the primary structure. Based on this and the fact that there is an existing front yard fence in the Lynden Park Subdivision, the proposed front yard fence does not appear to have a negative impact on any other adjacent residential property. With this being said, this request is a discretionary decision for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff will be available at the meeting on September 26, 2023.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2023

PROJECT NUMBER: MIS2023-013
PROJECT NAME: Front Yard Fence for 146 Blanchard Drive
SITE ADDRESS/LOCATIONS: 146 BLANCHARD DR

CASE CAPTION: Discuss and consider a request by Audrey Andrews for the approval of a Miscellaneous Case for an Exception for a Front Yard Fence for a 0.1446-acre parcel of land identified as Lot 6, Block D, Lynden Park Estates, Phase 2 Addition, zoned Planned Development District 17 (PD-17) for single-family detached, addressed as 146 Blanchard Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/19/2023	Approved w/ Comments
09/19/2023: 1. Must be out of right-of-way of the street and alley.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/21/2023	Approved w/ Comments
09/21/2023: NEED TO CONFIRM THAT THIS FENCE WILL NOT BE PART OF THE POOL BARRIER - IF IT IS, MORE RESTRICTIONS WILL BE REQUIRED			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/18/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/18/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Angelica Guevara	09/22/2023	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	09/19/2023	Approved
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

146 Blanchard Dr

SUBDIVISION

Lynden Park Estates
Phase 2

LOT

6

BLOCK

D

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Audrey Andrews

APPLICANT

CONTACT PERSON

Audrey Andrews

CONTACT PERSON

ADDRESS

146 Blanchard Dr

ADDRESS

CITY, STATE & ZIP

Rockwall, TX 75032

CITY, STATE & ZIP

PHONE

469-745-7015

PHONE

E-MAIL

alandrews65@gmail.com

E-MAIL

Same

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Audrey Andrews [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$150 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 7 DAY OF September, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

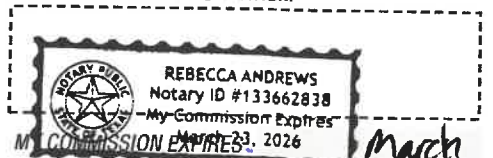
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 7 DAY OF September, 2023

OWNER'S SIGNATURE

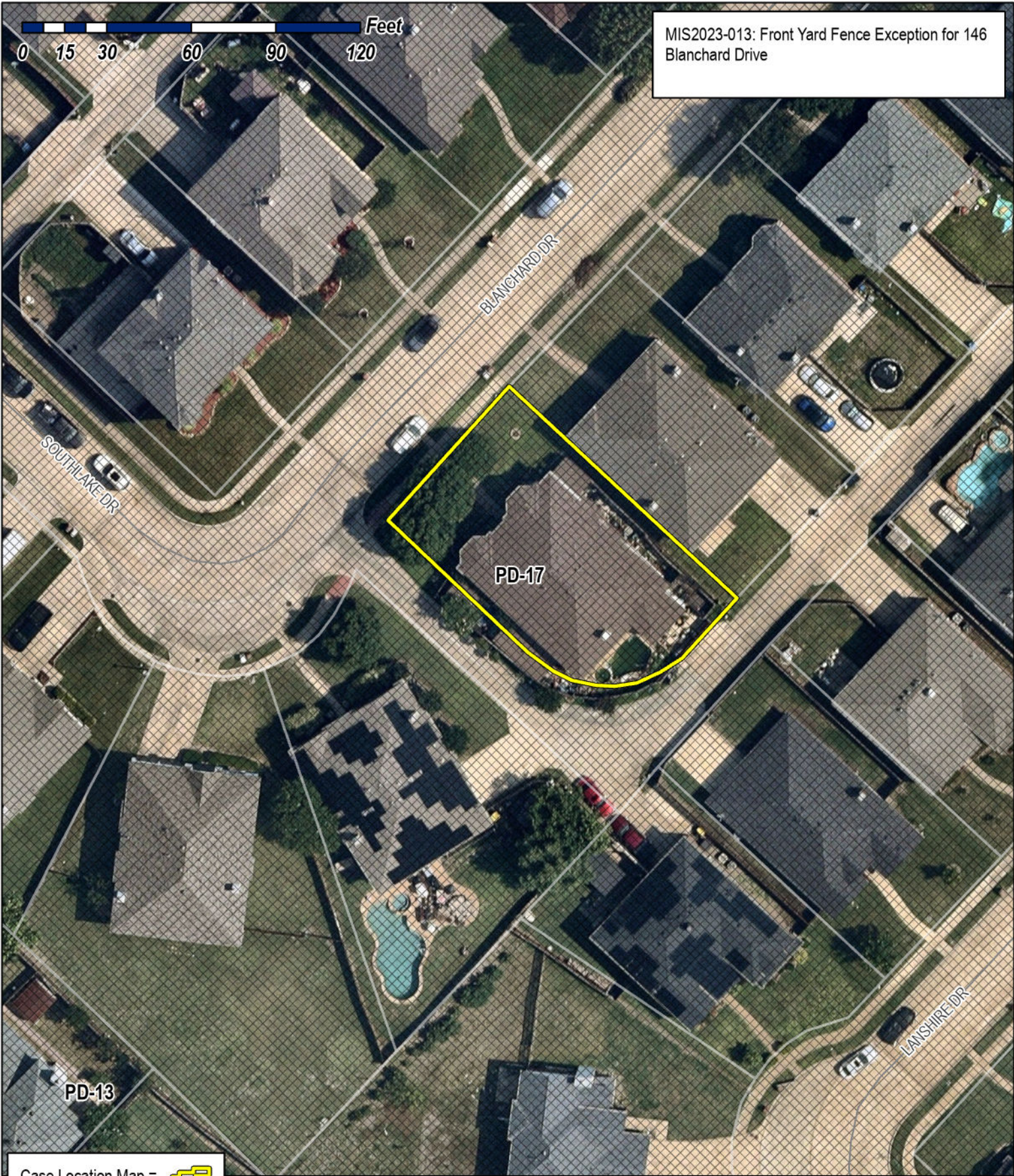
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



March 23, 2026



MIS2023-013: Front Yard Fence Exception for 146
Blanchard Drive



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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146 Blanchard Outside Aesthetic Fence
Lynden Park Estates, Phase 2 LOT, 6 Block D
Owner: Dr. Audrey Andrews
Rockwall Resident



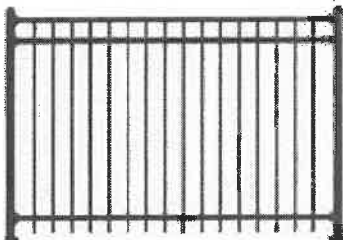
Materials Needed:

Fence
Cement

Various Fencing Companies

Materials available at:

Home Depot
Lowes
Amazon



4 ft tall
XCEL Black Steel Anti Rust Fence Panel- Flat End Picket ~~6.09 per Sq Ft~~ - Easy installation kid, outdoor residential fencing for yard, concrete, 3-rail Metal Fence, Includes a fence post. Cost \$198.00 \$6.09 per Sq Ft.

Approximately: \$198.00 \$**198.**00 \$6.09 per Sq Ft (\$6.09\$6.09 / Sq Ft)

146 Blanchard Outside Aesthetic Fence
Lynden Park Estates, Phase 2 LOT, 6 Block D
Owner: Dr. Audrey Andrews
Rockwall Resident

Current Front Day/Night

Outside Front of House
Location: 146 Blanchard Dr
City, State: Rockwall, Texas 75032
Corner Lot: Alley

4-ft



Desired Image: Wrought Iron Fence
Fence: 126 Ft Wrought Iron Fence – Gate Included
Gate: 4 ft *4ft fence*



146 Blanchard Outside Aesthetic Fence
Lynden Park Estates, Phase 2 LOT, 6 Block D
Owner: Dr. Audrey Andrews
Rockwall Resident

Samples Lynden Park Estates Neighborhood

There are several exceptions that have been made in the Lynden Park Estates Neighborhood to allow for an aesthetic wrought iron fence to be used to enclose the front part of the yard. These changes were made over several years and for several reasons: aesthetics, privacy, pet protection, and property containment.

Outside Front of House

Location: Pendelton Dr

City, State: Rockwall, Texas

4ft



k



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 26, 2023
APPLICANT: Bowen Hendrix; *DuWest Realty, LLC*
CASE NUMBER: SP2023-029; *Amended Site Plan for DuWest Rockwall*

SUMMARY

Discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of an Amended Site Plan for two (2) *Restaurant/Retail Buildings* on an 8.63-acre tract of land identified as Tract 3-10 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary..

BACKGROUND

The subject property was annexed on February 6, 1961 by *Ordinance No. 61-02 [Case No. A1961-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On April 2, 2007, the City Council adopted *Ordinance No. 07-13 [Case No. Z2007-006]*, which rezoned a 395.075-acre tract of land -- *that included the subject property* -- from an Agricultural (AG) District to Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District and limited General Retail (GR) District land uses. The concept plan included with this Planned Development District designated the subject property for Single-Family 10 (SF-10) District land uses. On October 19, 2009, the City Council adopted *Ordinance No. 09-44 [Case No. Z2009-018]*, which amended the concept plan and development standards for Planned Development District 70 (PD-70). The amendment re-designated approximately seven (7) acres of the subject property to allow limited General Retail (GR) District land uses. This area was later expanded by *Ordinance No. 11-35 [Case No. Z2011-016]* to include the remainder of the subject property, re-designating the entire 8.63-acres for limited General Retail (GR) District land uses. On February 6, 2017, the City Council approved a PD Development Plan [*Ordinance No. 17-08; Case No. Z2016-049*] for the subject property in accordance with the requirements of Planned Development District 70 (PD-70). This development plan was for a proposed grocery store; however, the project was never pursued beyond the PD Development Plan. On January 3, 2021, the City Council approved a subsequent PD Development Plan [*Ordinance No. 22-01; Case No. Z2021-048*] to allow for a *General Retail Development/Shopping Center*. On March 7, 2022, the Planning and Zoning Commission approved a Specific Use Permit (SUP) [*Case No. Z2022-003; Ordinance No. 22-12*] allowing two (2) *Restaurants, 2,000 SF or Greater, with Drive-Through or Drive-In* within the proposed two (2), ~10,000 SF *Restaurant/Retail Buildings*. On April 12, 2022, the Planning and Zoning Commission approved a site plan [*Case No. SP2022-012*] for the two (2) *Restaurant/Retail Buildings* on the subject property. On July 26, 2022, the Planning and Zoning Commission approved a variance [*Case No. MIS2022-016*] to the driveway spacing requirements to allow an additional driveway off of Quail Run Road. On November 7, 2022, the City Council approved a final plat [*Case No. P2022-054*] that establish the subject property as Lot 2, Block A, Duwest Addition.

PURPOSE

On September 18, 2023, the applicant -- *Bowen Hendrix of DuWest Realty, LLC* -- submitted an application requesting the approval of an amended site plan for the purpose of constructing two (2) *Restaurant/Retail Buildings* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located north of the intersection of E. Quail Run Road and N. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Phase 4 of the Stone Creek Subdivision, which was established on June 12, 2013 and consists of 59 single-family residential lots. Beyond this is Phase 1 of the Stone Creek Subdivision, which was established on August 28, 2008 and consists of 201 single-family residential lots. Both of these subdivisions are zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

South: Directly south of the subject property is a 2.519-acre parcel of land (*i.e. Lot 1R, Block B, Quail Run Retail*) with a pharmacy (*i.e. CVS Pharmacy*) situated on it. Beyond this is E. Quail Run Road, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 11.236-acre parcel of land (*i.e. Lot 1, Block A, Kroger 205 Addition*) with a grocery store and gas station (*i.e. Kroger Grocery Store and Fuel Center*) situated on it. These properties are zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses.

East: Directly east of the subject property is a 1.512-acre parcel of land owned by the City of Rockwall, and which is occupied with a fire station (*i.e. Fire Station #3*). Beyond this is Phase 7 of the Stone Creek Subdivision, which was established on July 13, 2016 and consists of 80 single-family residential homes. These properties are zoned Planned Development District 70 (PD-70) for Public and Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property is N. Goliad Street [*SH-205*], which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 2.174-acre parcel of land (*i.e. Lot 1, Block A, Pecan Valley Retail Addition*), which is occupied by a multi-tenant retail building.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) and Ordinance No. 19-41 (*i.e. Planned Development District 70 [PD-70]*), a *General Retail Building* is permitted *by-right* in a General Retail (GR) District. In addition, *Specific Use Permit No. S-271* allows a *Restaurant, 2,000 SF or Greater, with Drive-Through or Drive-In* on the subject property in accordance with the requirements of *Ordinance No. 22-12*. Based on this and the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conforming to the technical requirements, this case appears to be in conformance with all applicable requirements stipulated by the Unified Development Code (UDC) and *Ordinance No. 19-41* for a property located within Planned Development District 70 (PD-70) and a General Retail (GR) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	6,000 SF	X=8.684-acres; <i>In Conformance</i>
<i>Minimum Lot frontage</i>	60-Feet	X>60 -feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	X=263.13-feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	15-Feet	X>15-feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	20-Feet	X>20-feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	36-Feet	X=28.5-feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	40%	X=0.06%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	168 Parking Spaces Required	X=168 Parking Spaces; <i>In-Conformance</i>
<i>Minimum Landscaping Percentage</i>	20%	69.2%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	85%-90%	X<85%; <i>In Conformance</i>

TREESCAPE PLAN

The *Treescape Plan* provided by the applicant indicates that the development will result in a total mitigation balance of 1,446 caliper inches of trees. This balance incorporates all trees being removed within the subdivision, which includes the subject property and the parcels to the west and north west of the subject property. As part of the proposed treescape plan the applicant is planting 484 caliper inches on the subject property, the adjacent property to the west is planting 312 caliper inches, and they are protecting 270 caliper inches of protected *Feature Trees* (*i.e. Oak, Elm, and Pecan trees over 25 caliper inches*). This reduces the total mitigation balance to 380 caliper inches. According to Article 09, *Tree Preservation*, of the

Unified Development Code (UDC), only 20% of the mitigation balance may be purchased at the rate of \$100.00 per caliper inch. In this case, the applicant is limited to purchasing 289.2 caliper inches; however, their remaining mitigation balance is 380 caliper inches. Based on this, the applicant has indicated to staff that they would like to request an *Alternative Tree Mitigation Settlement Agreement* in order to pay the remaining tree mitigation balance in full in accordance with Section 05(G), of Article 09, *Tree Preservation*, of the Unified Development Code (UDC). This would equate to a total of \$38,000.00 paid into the *Tree Fund* if approved. This has been added as a *Condition of Approval* for this case and -- if the Planning and Zoning Commission approves this case with the *Conditions of Approval* -- the Planning and Zoning Commission will be sending a recommendation for the approval of the requested *Alternative Tree Mitigation Settlement Agreement*.

CONFORMANCE WITH THE CITY'S CODES

In reviewing of the applicant's request, staff has identified the following changes: [1] *Building B* is increasing in size by 2,228 SF (i.e. 22.3%), [2] *Building C* is increasing in size by 247 SF (i.e. 2.47%), and [3] each building façades surface area is increasing in size due to the increased building area. All other aspects of the applicant's request match what was approved with the original site plan [*Site Plan SP2022-012*]. Given this, the proposed amended site plan generally conforms to the requirements outlined in the Unified Development Code (UDC) and Planned Development District 70 (PD-70).

VARIANCES REQUESTED BY THE APPLICANT

As part of the originally approved site plan [*Case No. SP2022-012*] for the two (2) *Restaurant/Retail Buildings*, the Planning and Zoning Commission approved a variance to the *Four (4) Sided Architecture* requirements. More specifically the proposed buildings [1] did not incorporate the same architectural finishes, and [2] they failed to meet the minimum articulation requirements. The new building elevations provided by the applicant depict the same variance to the *Four (4) Sided Architecture* requirements. Given this, the proposed buildings are in conformance with the previous approval.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the *Northwest Residential District*. The *Northwest Residential District* is "...characterized by the two (2) large master planned communities that make up the majority of the acreage in this district." In this case, the subject property is a part of one (1) of these two (2) large master planned communities (i.e. *the Stone Creek Subdivision*), and is designated for *Commercial/Retail* land uses. According to the *District Strategies* for the *Northwest Residential District*, "(t)he commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures." In this case, the proposed buildings are physically removed from the residential structures to the north and east, and are closer to the existing commercial land uses that are located on the north and south sides of the intersection of E. Quail Run Road and N. Goliad Street. The buildings being proposed by the applicant are complimentary in nature to these existing commercial buildings. Based on the proposed site plan's conformance with the *Land Use* goals and policies outlined in Chapter 01, *Land Use and Growth Management*, and the *Commercial* goals and policies outlined in Chapter 09, *Commercial*, the applicant's request conforms with the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

The Architectural Review Board (ARB) reviewed the building elevations provided by the applicant on August 29, 2023, approved a motion to recommend approval of the proposed building elevations by a vote of 3-0, with Board Members Meyrat and Hudson absent, and two (2) vacant positions.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's *Amended Site Plan* for two (2) *Restaurant/Retail Buildings* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.

- (2) Before any Certificates of Occupancy (CO's) are issued for future tenants, documentation shall be provided indicating that any proposed *Roof Top Units (RTU's)* will meet the screening requirements and will not be visible from any adjacent property, open space, or public right-of-way.
- (3) A recommendation of approval will be forwarded to the City Council for an *Alternative Tree Mitigation Settlement Agreement* in the amount of \$38,000.00, which will satisfy the outstanding tree mitigation balance of 380 caliper inches of trees.
- (4) The proposed amenity area and pedestrian access points indicated on the site plan shall be constructed with the two (2) proposed *Restaurant/Retail Buildings*, and no Certificates of Occupancy (CO's) for either of these buildings will be issued until this construction of this area is complete.
- (5) Any construction resulting from the approval of this *Amended Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Not Assigned Yet

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION NEC C Quail Run Road and 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-70

CURRENT USE Vacant

PROPOSED ZONING PD-70

PROPOSED USE Commercial retail

ACREAGE 8.684

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER DuWest Realty, LLC

APPLICANT ClayMoore Engineering

CONTACT PERSON Bowen Hendrix

CONTACT PERSON Lynn Rowland

ADDRESS 4403 North Central Expressway
Suite 200

ADDRESS 1903 Central Drive
Suite 406

CITY, STATE & ZIP Dallas, Tx 75025

CITY, STATE & ZIP Bedford, Tx

PHONE 214-918-1804

PHONE 817.281.0572

E-MAIL bowen@duwestrealty.com

E-MAIL Lynn@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

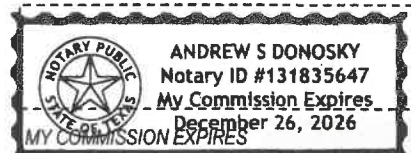
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bowen Hendrix [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF August, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF August, 2023

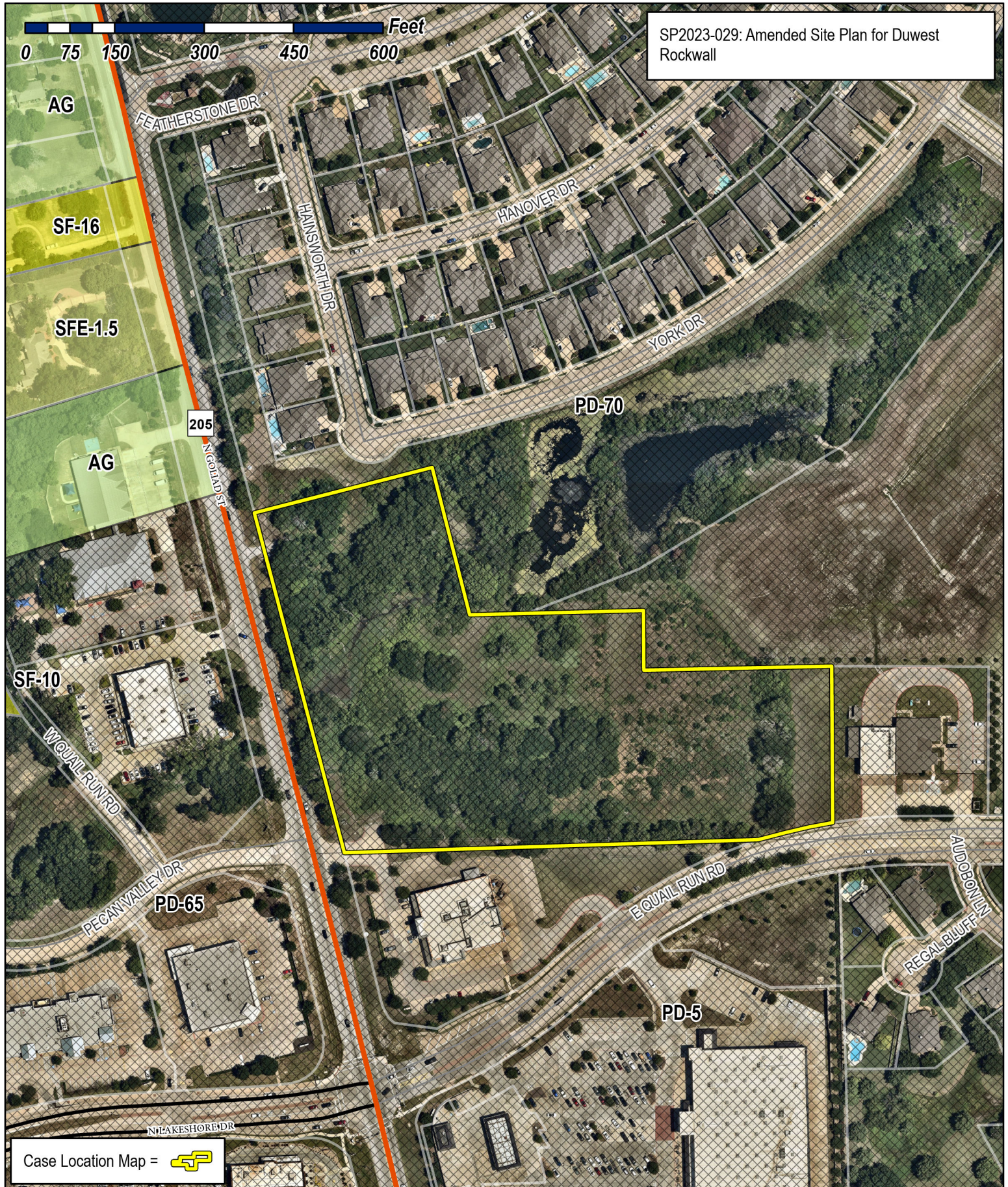
OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





SP2023-029: Amended Site Plan for Duwest Rockwall



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

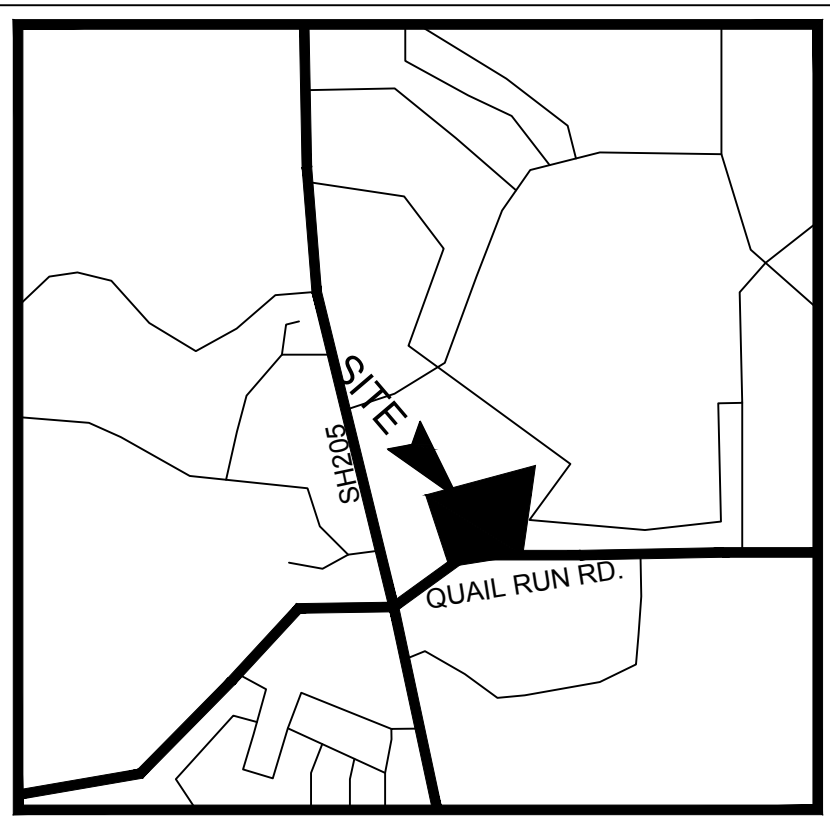
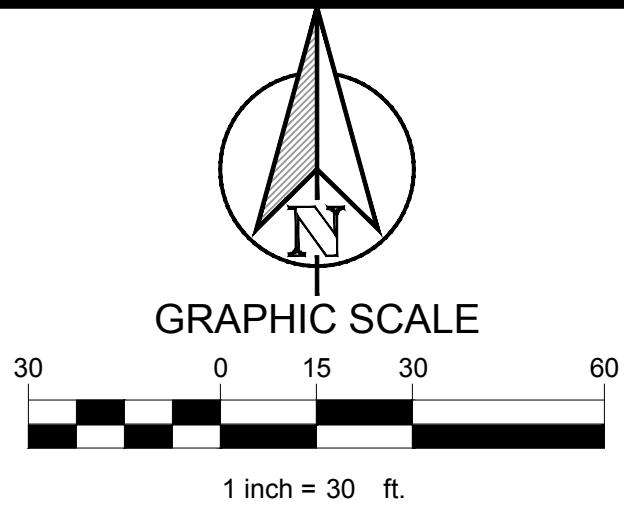


MATCHLINE- SEE NEXT PAGE

MATCHLINE- SEE NEXT PAGE

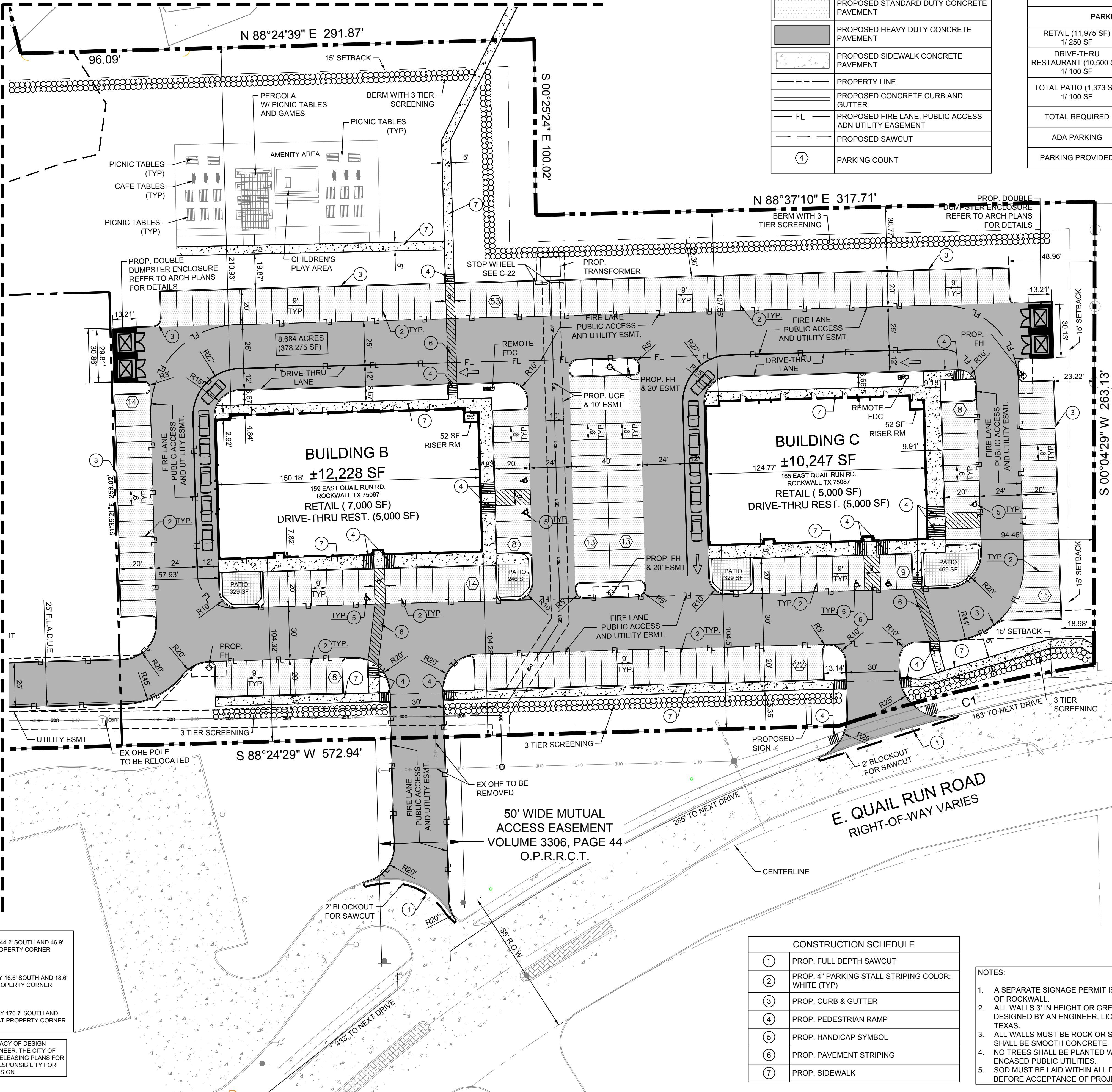
CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	PARKING COUNT

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SPACES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)



VICINITY MAP
N.T.S.

SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 12,228 SF BUILDING C- 10,247 SF
TOTAL PATIO AREA	1,373 SF
LOT COVERAGE	5.9 %
FLOOR TO AREA RATIO	0.06 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	122,404 SF (32.4%)
OPEN SPACE	6.04 AC (69.2%)



CONSTRUCTION SCHEDULE	
1	PROP. FULL DEPTH SAWCUT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CURB & GUTTER
4	PROP. PEDESTRIAN RAMP
5	PROP. HANDICAP SYMBOL
6	PROP. PAVEMENT STRIPING
7	PROP. SIDEWALK

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

TBM #1 - ELEV: 507.40
AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

TBM #2 - ELEV: 499.60
AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

TBM #3 - ELEV: 486.4
AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

PLOTTED BY: JAT, KRUIARUDDA
PLOT DATE: 8/17/2023 11:06 AM
LOCATION: Z:\PROJECTS\SPROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG
LAST SAVED: 8/17/2023 11:07 AM



PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
CONSULTANTS
ENGINEER AND PLANNER
CONSULTANT
DREW DONOSKY
Engineer
P.E. No. 12565, Date: 8/17/2023

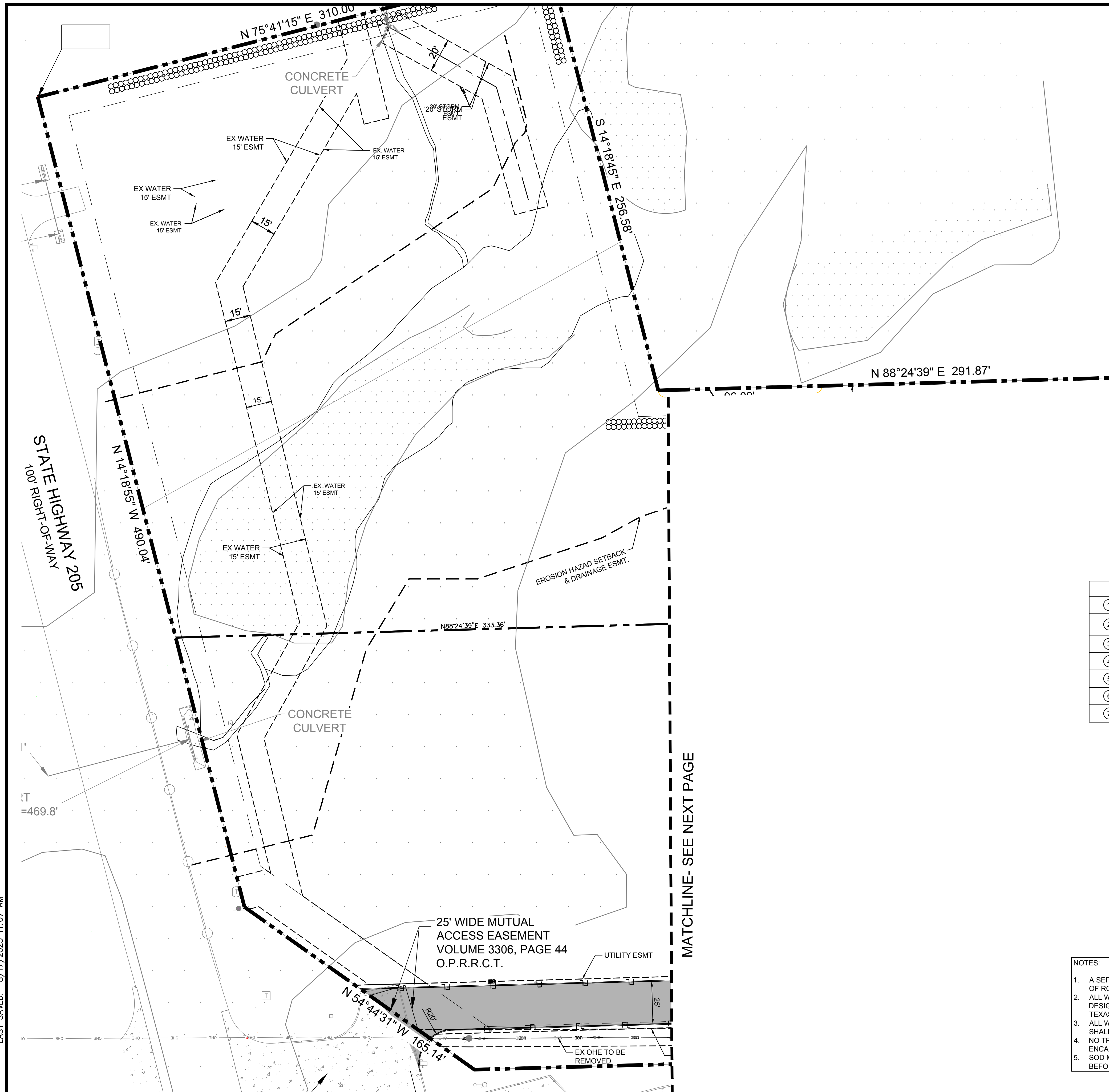
DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

SITE PLAN (1 OF 2)

DUWEST ROCKWALL, TX	
LEGAL DESCRIPTION AND OR ADDRESS: STONE CREEK BALANCE LTD ABSTRACT, NO 131 8.684 AC (378,275 SF)	
OWNER: DUWEST REALTY, LLC 4403 N. CENTRAL EXWAY SUITE #200 DALLAS, TX 75025 CONTACT: BOWEN HENDRIX PH: 214.918.1804	APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 CONTACT: DREW DONOSKY PH: 817.281.0572
CASE NUMBER Z2022-003	
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.	
WITNESS OUR HANDS THIS ____ DAY OF ____.	
DESIGN: LRR	DRAWN: LRR
CHECKED: CLC	DATE: 8/17/2023
PLANNING AND ZONING COMMISSION, CHAIRMAN	
DIRECTOR OF PLANNING AND ZONING	

SHEET
SP-1
File No. 2022-002
CASE # SP2022-012

PLOTTED BY: JAT/KRUBARUBDA
 PLOT DATE: 8/17/2023 10:16 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG
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MATCHLINE- SEE NEXT PAGE

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②	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
③	PROP. CURB & GUTTER
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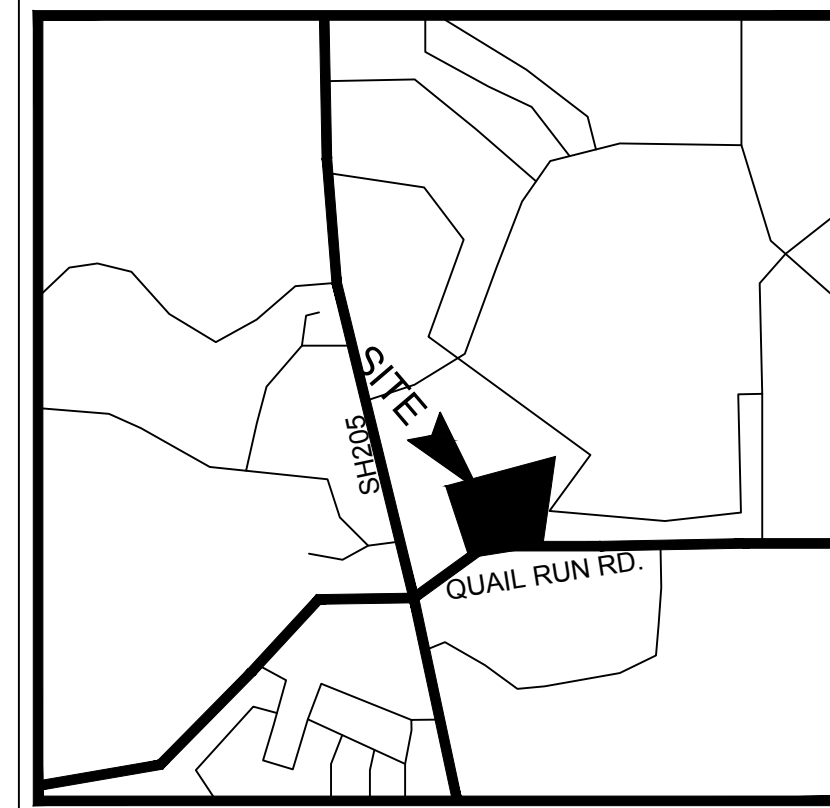
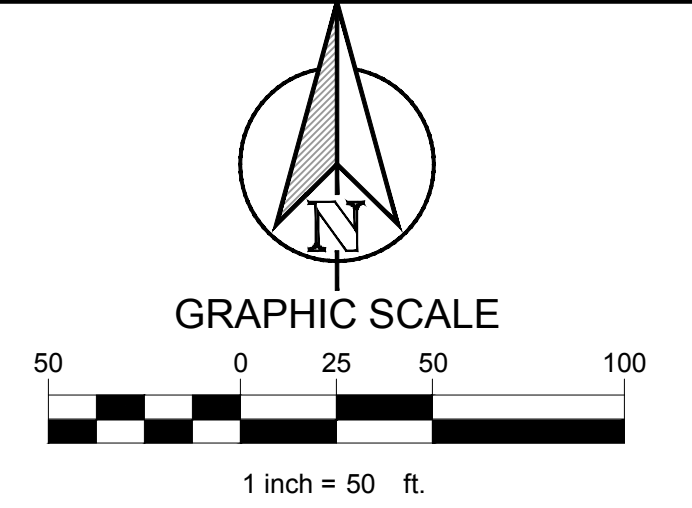
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CONSTRUCTION SCHEDULE	
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	PROPOSED SIDEWALK CONCRETE PAVEMENT
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	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	PARKING COUNT

DUWEST ROCKWALL, TX	
LEGAL DESCRIPTION AND OR ADDRESS: STONE CREEK BALANCE LTD ABSTRACT, NO 131 8.684 AC (378,275 SF)	
OWNER: DUWEST REALTY, LLC 4403 N. CENTRAL EXHWAY SUITE #200 DALLAS, TX 75025 CONTACT: BOWEN HENDRIX PH: 214.918.1804	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 CONTACT: DREW DONOSKY PH: 817.281.0572	
CASE NUMBER Z2022-003	
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.	
WITNESS OUR HANDS THIS _____ DAY OF _____.	
PLANNING AND ZONING COMMISSION, CHAIRMAN	_____ DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM

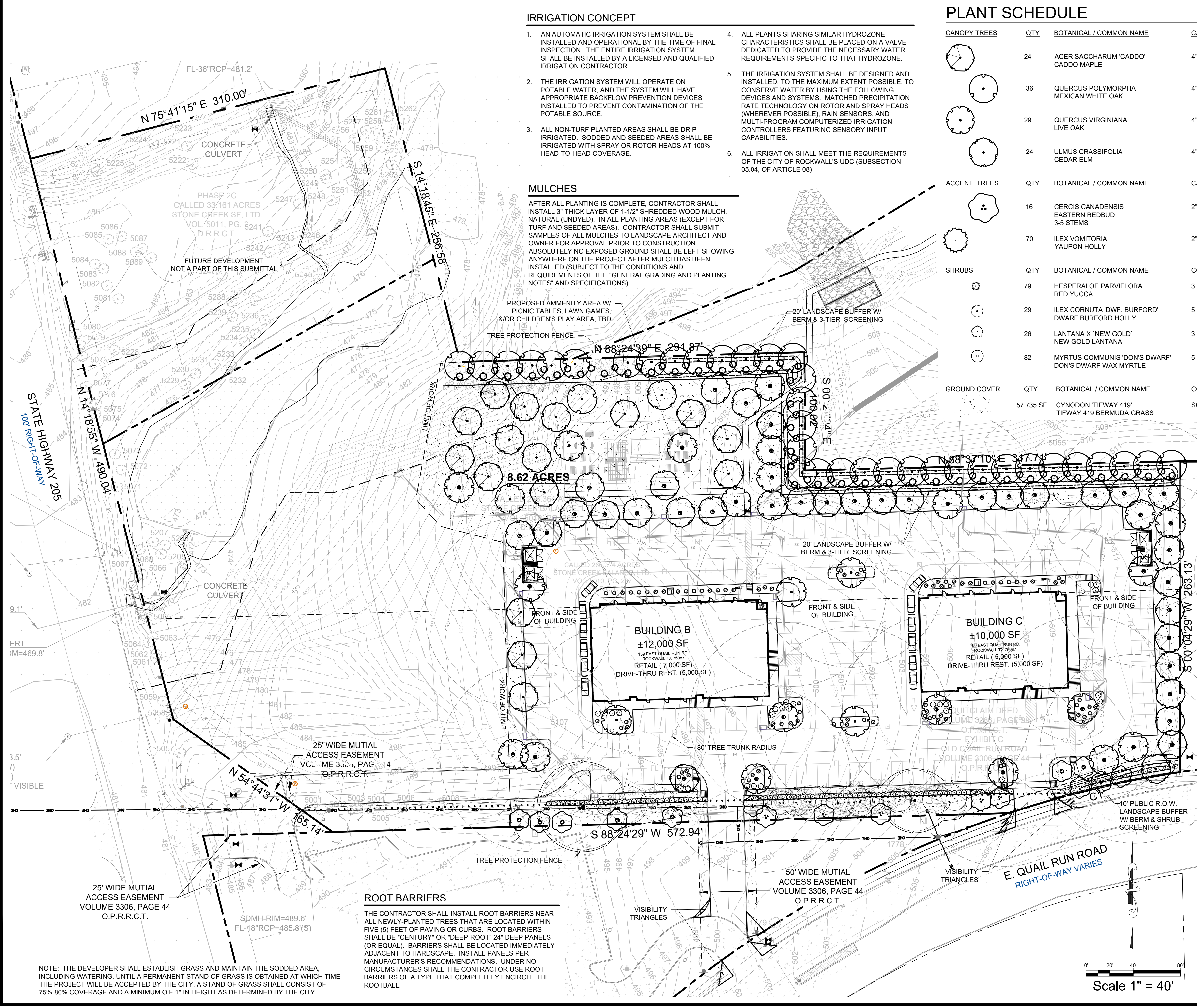
PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 Engineer: DREW DONOSKY
 P.E. No. 12565 License 8/17/2023

**DUWEST ROCKWALL
 SH 205 & QUAIL RUN RD
 ROCKWALL, TX**

SITE PLAN (2 OF 2)

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	8/17/2023
SHEET	
SP-1	

PLOTTED BY: DARCY BRANDON
 PLOT DATE: 8/11/2023 4:20 PM
 C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_LP_2023-08-10.DWG
 LOCATION: 8/11/2023 4:20 PM
 LAST SAVED: 8/11/2023 4:20 PM



IRRIGATION CONCEPT

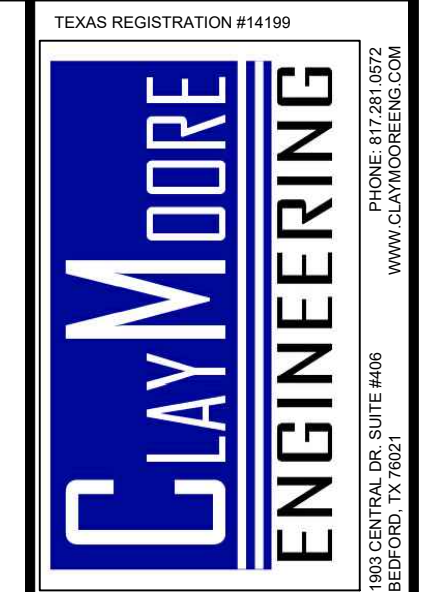
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	24	ACER SACCHARUM 'CADDO' CADDO MAPLE	4" CAL	16'-18" HT
	36	QUERCUS POLYMORPHA MEXICAN WHITE OAK	4" CAL MIN	14'-16" HT
	29	QUERCUS VIRGINIANA LIVE OAK	4" CAL MIN	14'-16" HT
	24	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL	16'-18" HT
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	16	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	2" CAL MIN	8' -10' HT
	70	ILEX VOMITORIA YAUPON HOLLY	2" CAL MIN	8' -10' HT
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	79	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	29	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL	
	26	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	3 GAL	
	82	MYRTUS COMMUNIS 'DON'S DWARF' DON'S DWARF WAX MYRTLE	5 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	
	57,735 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	



PRELIMINARY
 FOR REVIEW ONLY
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 CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 DREW DONOSKY
 P.E. No. 125651, State 8/11/2023

SEE SHEET LP-2 FOR LANDSCAPE STANDARDS

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	865.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (173.1' x \$200 = \$34,620 PAYMENT INTO THE CITY'S TREE FUND)	173.1"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (264.4' x \$100 / IN = \$26,440):	264.4"
TOTAL MITIGATION PROVIDED:	865.5"

SITE DATA TABLE

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05-1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

PARKING DATA TABLE

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	
TOTAL PARKING	168 SPACES
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DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
 STONE CREEK BALANCE LTD
 ABSTRACT NO 131
 8.684 AC (378,275 SF)

OWNER:

DuWest Realty, LLC
 4403 N. CENTRAL EXWAY SUITE #200
 DALLAS, TX 75025
 CONTACT: BOWEN HENDRIX
 PH: 214.918.1804

APPLICANT:

CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: DREW DONOSKY
 PH: 817.281.0572

CASE NUMBER

Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____

WITNESS OUR HANDS THIS _____ DAY OF _____

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

**DUWEST ROCKWALL
 SH 205 & QUAIL RUN RD
 ROCKWALL, TX**

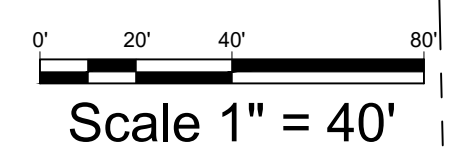
**LANDSCAPE PLANTING
 PLAN**

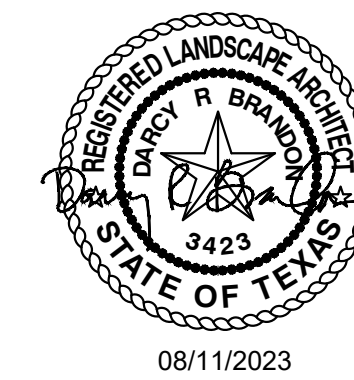
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SHEET **LP-1**

File No. 2022-002
CASE # SP2022-012

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.



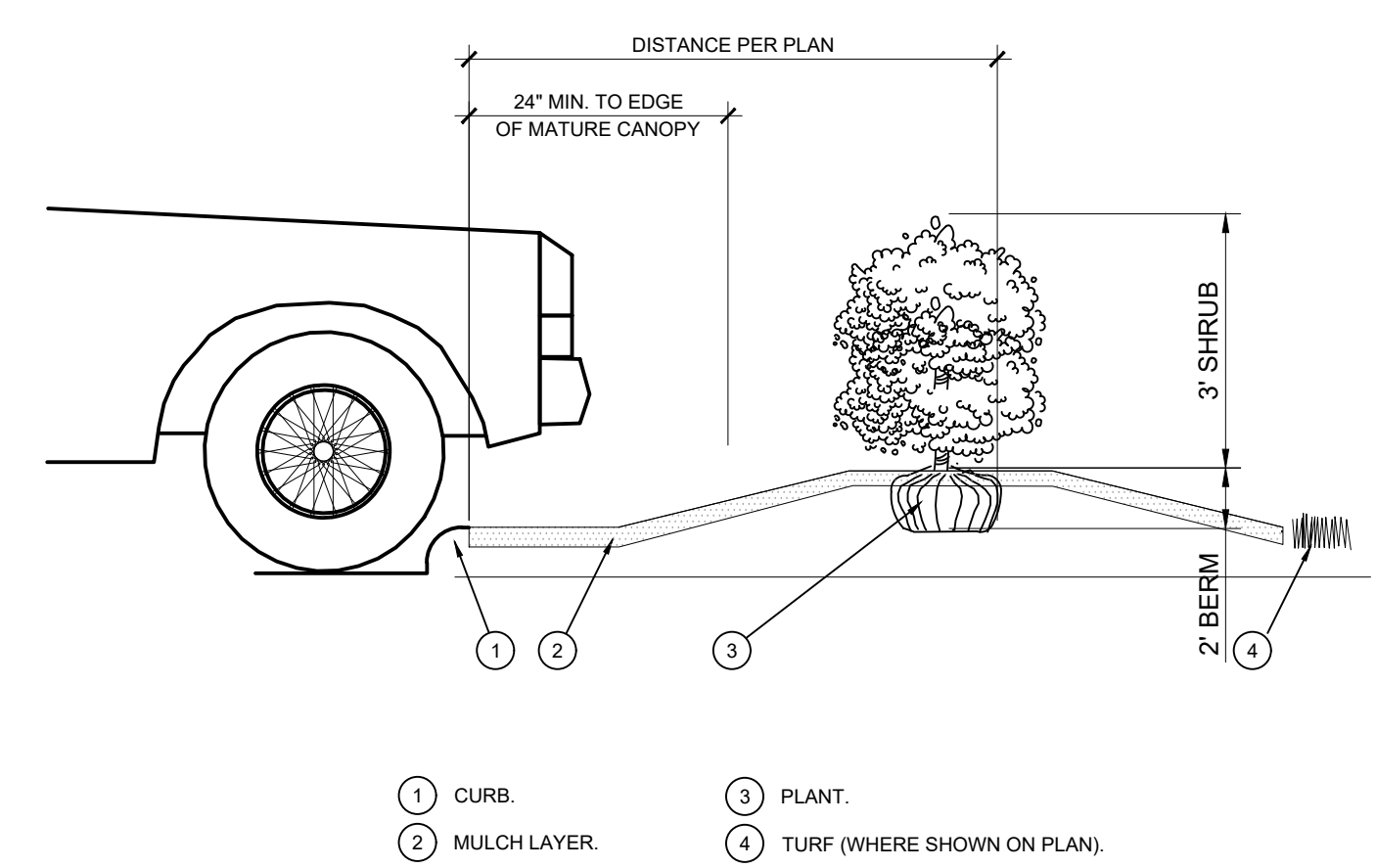


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CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
DREW DONOSKY
Engineer, P.E. No. 125651, Date 8/11/2023

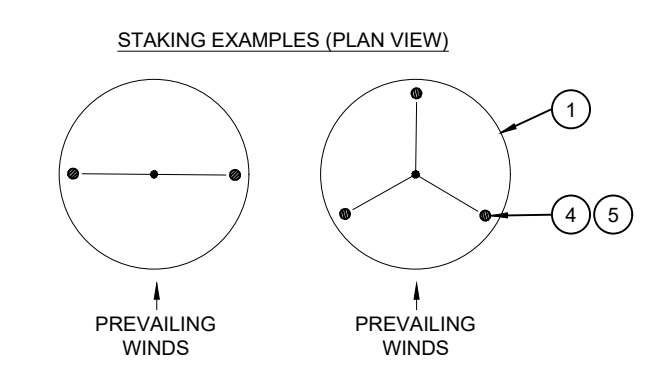
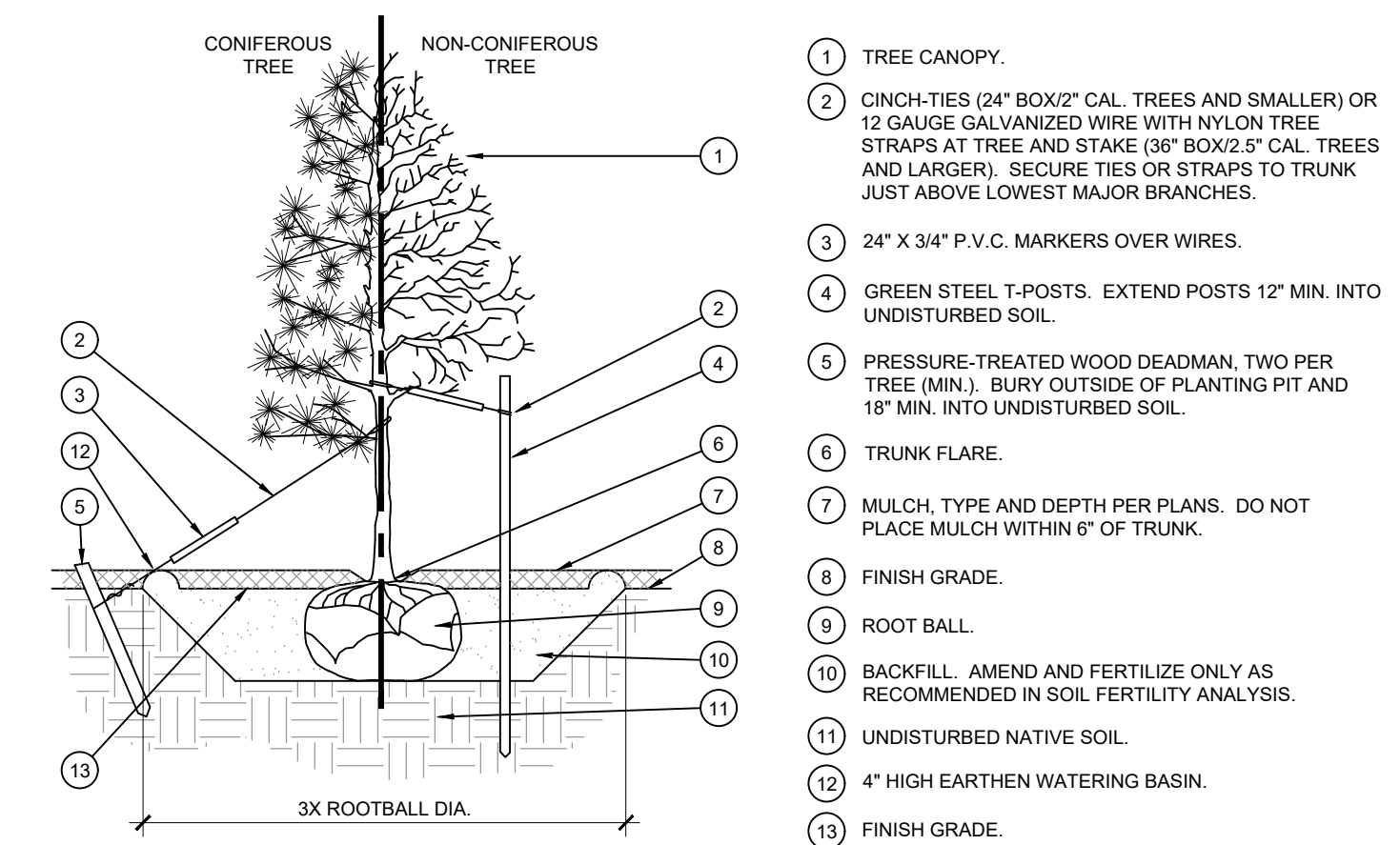
**DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX**

**LANDSCAPE STANDARDS
PLANTING
DETAILS & NOTES**

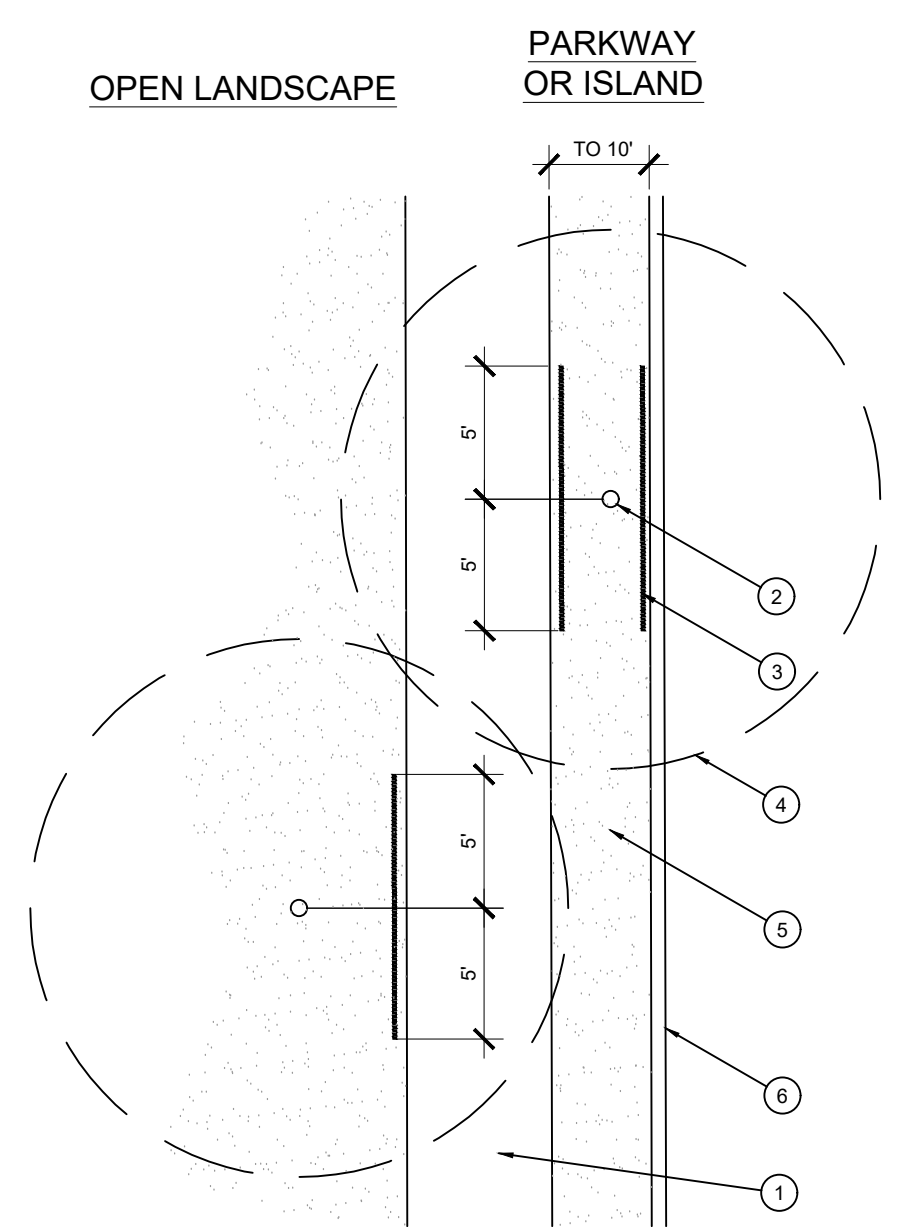
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LP-2
File No. 2022-002
CASE # SP2022-012



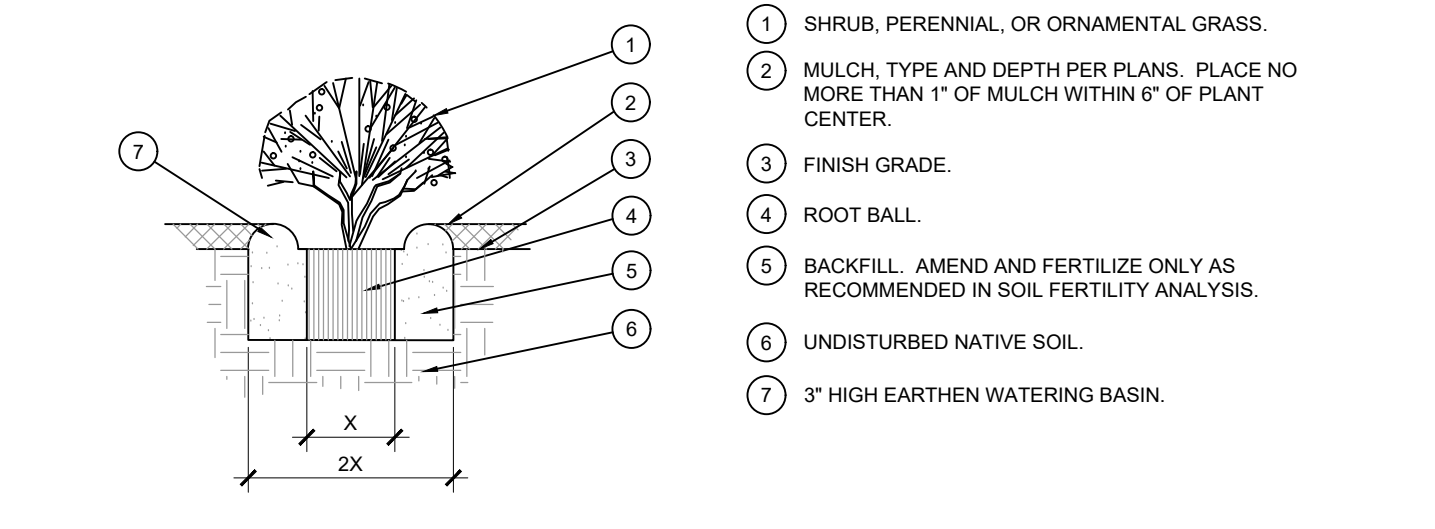
D PLANTING AT PARKING AREA
SCALE: NOT TO SCALE



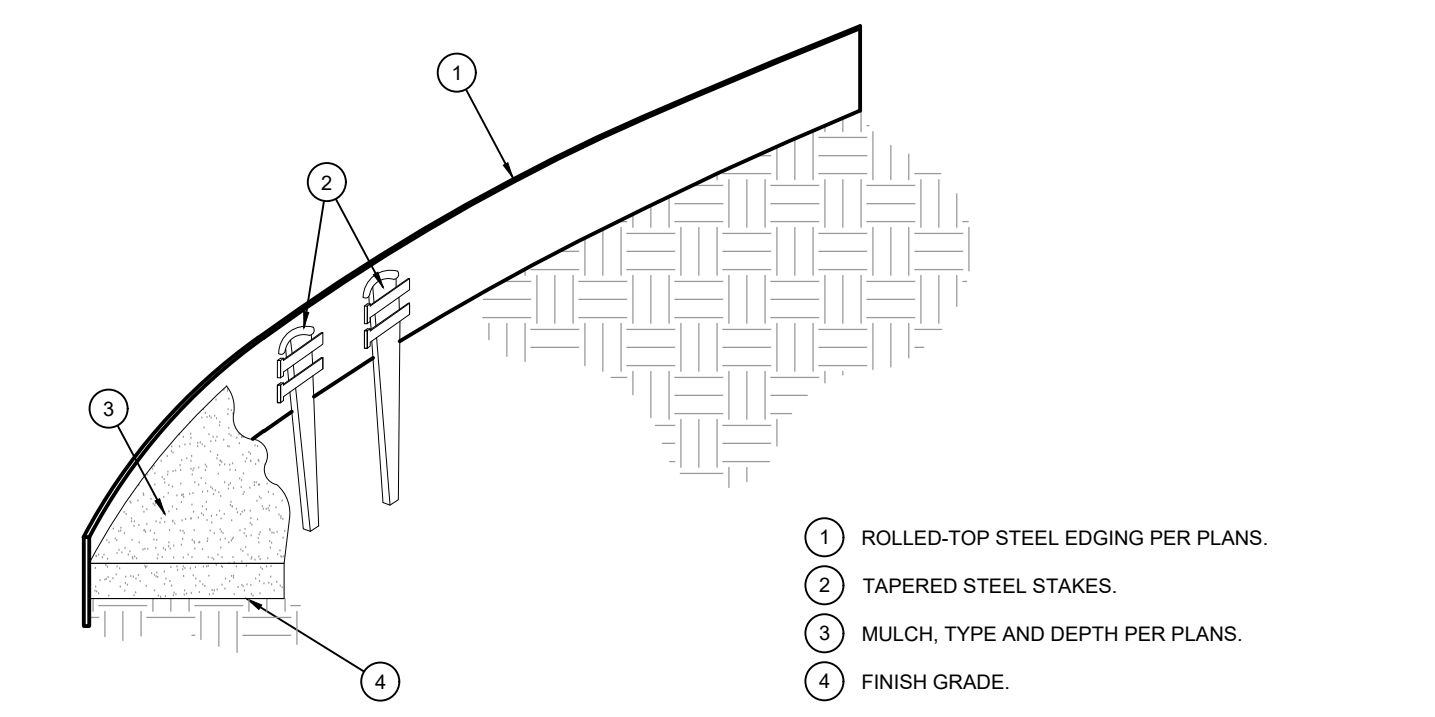
A TREE PLANTING
SCALE: NOT TO SCALE



E ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



B SHRUB AND PERENNIAL PLANTING
SCALE: NTS



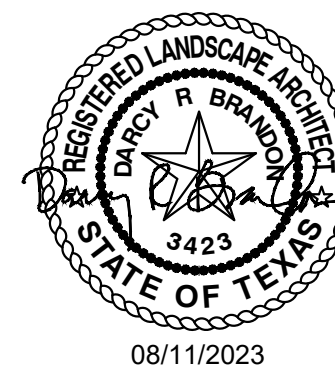
D STEEL EDGING
SCALE: NOT TO SCALE

LANDSCAPE STANDARDS	
05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL	
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
E. QUAIL RUN RD.: ±149' STREET FRONTAGE	10' WIDE BUFFER REQ. W/ 1 CANOPY + 1 ACCENT TREE PER 50 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE
REQUIRED PLANTING: PROVIDED 10' BUFFER:	3 CANOPY TREES, 3 ACCENT TREES, BERM W/ SHRUBS 2 EXIST. CANOPY TREES + 1 NEW CANOPY TREE (CEDAR ELM); 3 ACCENT TREES (REDBUD) W/ BERM AND SHRUBS 3-TIERED BUFFER REQ.
SOUTH PROPERTY LINE BUFFER:	10 REDBUDS
05.02 LANDSCAPE SCREENING	
REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
PROVIDED SCREENING	TEXAS SAGE SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGES
SCREENING FROM RESIDENTIAL	WROUGHT IRON FENCE W/ 3-TIERED SCREEN OF CANOPY TREES & 2 ROWS OF EVERGREEN ACCENT TREES
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT	
TOTAL SITE AREA:	4311,062 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	62,212.4 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	± 186,529 SF (60%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	61,293 SF (98.5%)
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA:	±5,011 SF
PROPOSED PARKING LOT LANDSCAPING:	±9,968 SF (9.9%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN ±0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

PLOTTED BY: DARCY BRANDON 8/11/2023 4:19 PM
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PRELIMINARY FOR REVIEW ONLY Not for construction purposes. CLAYMOORE ENGINEERING ENGINEERING AND PLANNING CONSULTANT DREW DONOSKY Engineer, No. 125651, Exp. 8/11/2023

DUWEST ROCKWALL SH 205 & QUAIL RUN RD ROCKWALL, TX

LANDSCAPE PLANTING SPECIFICATIONS

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. A LIST OF SUBVENDORS COMPLYING WITH THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS L-SHAPED ROOTS).
3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE FINAL JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A SUPPLIER STATING THE COMPOSITION OF THE SOD.
D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8, MOISTURE CONTENT 50 TO 55 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH 3/8-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
H. TREE STAKING AND GUYING
1. STAKES: 6" LONG GREEN METAL T-POSTS.
2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. SOIL TESTING
a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEEDS, AS WELL AS APPLICATIONS AND RECOMMENDATIONS FOR TREES, SHRUBS, PERENNIALS, AND OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.
i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.
i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
iv. IRON SULPHATE - 2 LBS. PER CU. YD.
5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE A DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- B. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TREENINGS NEAR EXISTING TREES
a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
D. TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARP THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
2. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
3. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
4. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
5. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES
a. 1"-2" TREES TWO STAKES PER TREE
b. 2-1/2"-4" TREES THREE STAKES PER TREE
c. TREES OVER 4" CALIPER GUY AS NEEDED
d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
e. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
6. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
E. SHRUB PERENNIAL AND TURF PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
F. SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
G. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
H. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
I. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
J. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
c. SODDED AREAS MUST BE ACTIVELY GROWING, AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:

STONE CREEK BALANCE LTD ABSTRACT, NO 131 8.684 AC (378,275 SF)

OWNER:

DUWEST REALTY, LLC 4403 N CENTRAL EXWAY SUITE #200 DALLAS, TX 75025 CONTACT: BOWEN HENDRIX PH: 214.918.1804

APPLICANT:

CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 CONTACT: DREW DONOSKY PH: 817.281.0572

CASE NUMBER

Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___.

WITNESS OUR HANDS THIS ___ DAY OF ___

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

DESIGN: LRR

DRAWN: LRR

CHECKED: CLC

DATE: 04/05/2022

SHEET

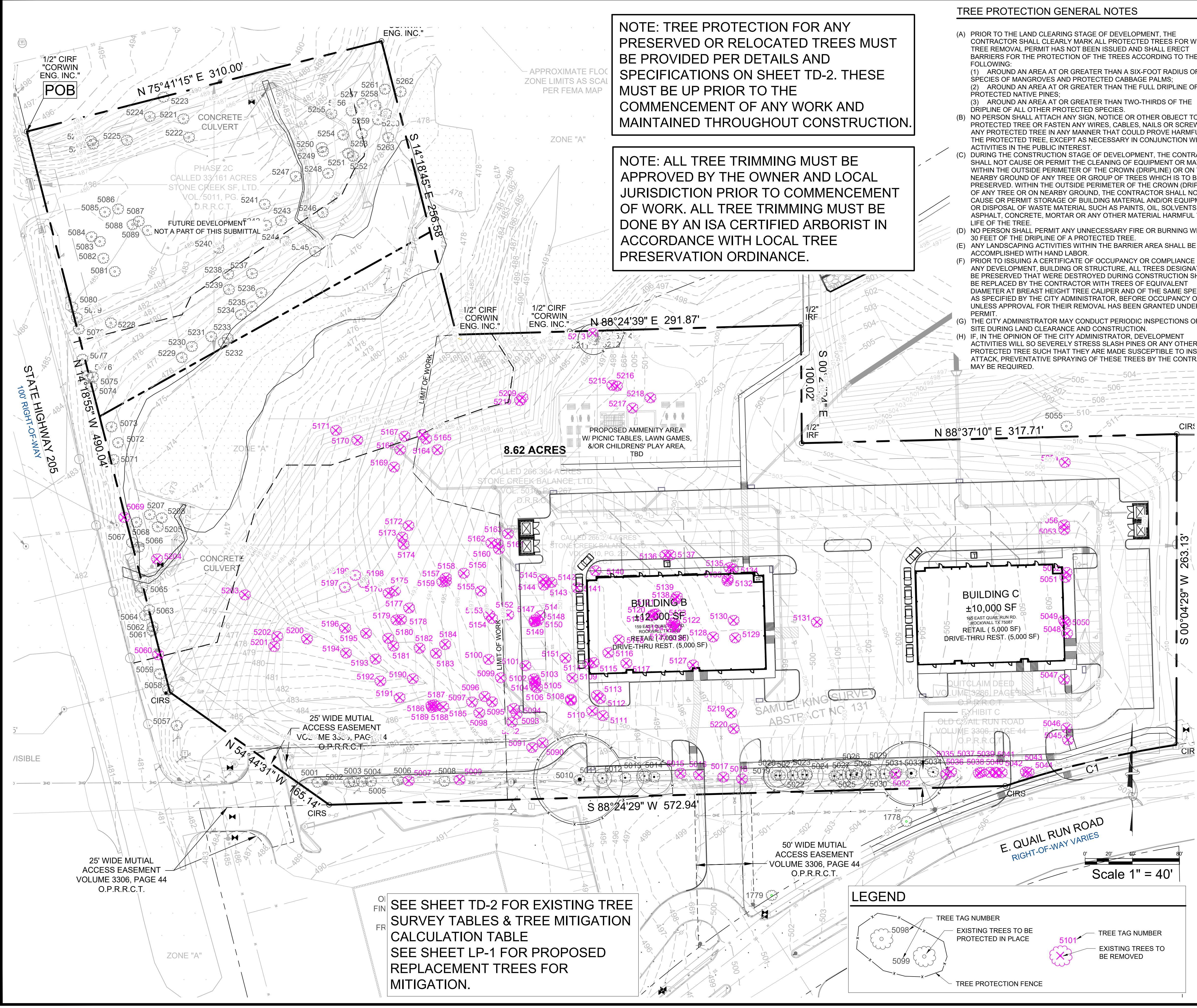
LP-3

File No. 2022-002

CASE # SP2022-012

PLOTTED BY: DARCY BRANDON 8/11/2023 4:16 PM
PLOT DATE: 8/11/2023 4:16 PM
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LAST SAVED: 8/11/2023 4:16 PM

PLOTTED BY: DARCY BRANDON
 PLOT DATE: 8/11/2023 2:53 PM
 C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_TD-2022-08-10.DWG
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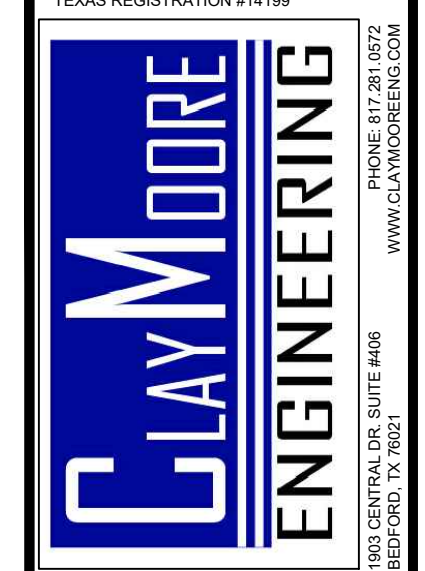
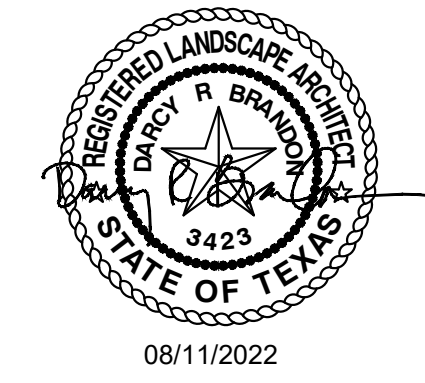


NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

TREE PROTECTION GENERAL NOTES

- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - (2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- (G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- (H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.



PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
 CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 DREW DONOSKY
 Engineer, No. 125651, Date: 8/11/2023

SITE DATA TABLE

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05:1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

PARKING DATA TABLE

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	1044.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (208.9" x \$200 = \$41,780 PAYMENT INTO THE CITY'S TREE FUND)	208.9"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (407.6" x \$100 / IN = \$40,760):	407.6"
TOTAL MITIGATION PROVIDED:	1044.5"

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
**STONE CREEK BALANCE LTD
 ABSTRACT NO 131
 8.684 AC (378,275 SF)**

OWNER:
 DuWEST REALTY, LLC
 4403 N.CENTRAL EXWAY SUITE #200
 DALLAS, TX 75025
 CONTACT: BOWEN HENDRIX
 PH: 214.918.1804

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: DREW DONOSKY
 PH: 817.281.0572

CASE NUMBER:
 Z2022-003

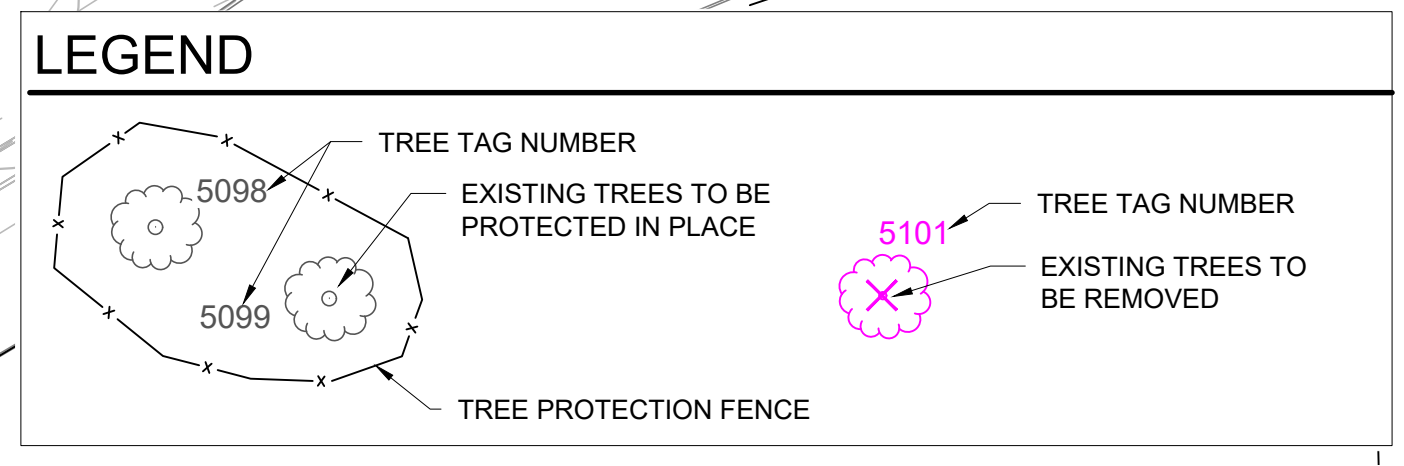
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SEE SHEET TD-2 FOR EXISTING TREE SURVEY TABLES & TREE MITIGATION CALCULATION TABLE
 SEE SHEET LP-1 FOR PROPOSED REPLACEMENT TREES FOR MITIGATION.



**DUWEST ROCKWALL
 SH 205 & QUAIL RUN RD
 ROCKWALL, TX**

TREESCAPE PLAN

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 04/05/2022
 SHEET
TD-1
 File No. 2022-002
 CASE # SP2022-012

EXISTING TREE SURVEY

TAG	COMMON NAME	DBH (INCHES)
5001	CEDAR ELM	22
5002	CEDAR ELM	10
5003	CEDAR ELM	10
5004	CEDAR ELM	10
5005	HACKBERRY	24
5006	CEDAR ELM	14
5007	HACKBERRY	12
5008	HACKBERRY	16
5009	HACKBERRY	14
5010	CEDAR ELM	36
5011	HACKBERRY**	8
5012	HACKBERRY	16
5013	CEDAR ELM	6
5014	HACKBERRY	15
5015	BOIS D'ARC**	12
5016	BOIS D'ARC**	10
5017	HACKBERRY	16
5018	HACKBERRY	34
5019	HACKBERRY**	10
5020	HACKBERRY**	10
5021	HACKBERRY	11
5022	HACKBERRY**	8
5023	HACKBERRY	14
5024	HACKBERRY	14
5025	HACKBERRY**	8
5026	HACKBERRY	14
5027	HACKBERRY**	10
5028	BOIS D'ARC**	12
5029	HACKBERRY**	8
5030	HACKBERRY**	7
5031	HACKBERRY**	10
5032	HERCULES CLUB	10
5033	HACKBERRY	26
5034	HACKBERRY	12
5035	HACKBERRY	15
5036	BOIS D'ARC**	14
5037	CEDAR ELM	8
5038	HACKBERRY**	10
5039	BOIS D'ARC**	14
5040	HACKBERRY**	10
5041	HACKBERRY**	10
5042	HACKBERRY**	10
5043	HACKBERRY**	10
5044	HACKBERRY	12
5045	CEDAR ELM	36
5046	CEDAR ELM	36
5047	HACKBERRY	16
5048	HACKBERRY	26
5049	HACKBERRY	12
5050	CEDAR ELM	14
5051	CEDAR ELM	30
5052	HACKBERRY	24
5053	HACKBERRY**	10
5054	HACKBERRY	12
5055	HACKBERRY	38
5056	HACKBERRY	18
5057	CEDAR	24
5058	HACKBERRY	12
5059	HACKBERRY	24
5060	ELM	30
5061	ELM	23
5062	HACKBERRY**	8
5063	ELM	7
5064	ELM	25
5065	HACKBERRY	13
5066	PECAN	50
5067	PECAN	20
5068	WILLOW**	13
5069	ELM	13
5071	ELM	15
5072	PECAN	39
5073	PECAN	23
TOTAL CALIPER INCHES		979.5
CALIPER INCHES NON-PROTECTED		236
TOTAL CALIPER INCHES PROTECTED		608.5
TOTAL CAL. IN. DEAD OR POOR COND.		172
TOTAL CALIPER INCHES REMOVED*		186
TOTAL CALIPER INCHES PRESERVED		422.5
MITIGATION REQUIRED		308*

SHADED ROWS INDICATE TREES TO BE REMOVED
 * DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES
 **NON-PROTECTED TREES

TAG	COMMON NAME	DBH (INCHES)
5090	BOIS D'ARC**	30
5091	PECAN	12
5092	ELM	10
5093	ELM	7
5094	HACKBERRY**	8
5095	HACKBERRY**	9
5096	ELM	6
5097	ELM	12
5098	HACKBERRY	11
5099	BOIS D'ARC**	26
5100	CEDAR**	9
5101	WILLOW**	13
5102	HACKBERRY	13
5103	HACKBERRY**	10
5104	HACKBERRY**	6
5105	HACKBERRY	12
5106	HACKBERRY**	9
5107	BOIS D'ARC**	30
5108	HACKBERRY	19
5109	HACKBERRY**	10
5110	ELM	8
5111	ELM	7
5112	HACKBERRY	13
5113	HACKBERRY**	6
5114	HACKBERRY**	9
5115	HERCULES CLUB	6
5116	HACKBERRY**	8
5117	BOIS D'ARC**	36
5118	LOCUST**	12
5119	HACKBERRY	12
5120	BOIS D'ARC**	18
5121	HACKBERRY	14
5122	HACKBERRY**	8
5123	HACKBERRY**	6
5124	BOIS D'ARC**	18
5125	HACKBERRY**	10
5126	HACKBERRY**	10
5127	HACKBERRY**	10
5128	HACKBERRY**	6
5129	HACKBERRY	12
5130	HACKBERRY**	6
5131	HACKBERRY	14
5132	HACKBERRY	12
5133	HACKBERRY**	8
5134	CEDAR	12
5135	CEDAR	12
5136	HACKBERRY	17
5137	BOIS D'ARC**	26
5138	HACKBERRY	14
5139	BOIS D'ARC**	20
5140	CEDAR	14
5141	BOIS D'ARC**	38
5142	HACKBERRY	18
5143	BOIS D'ARC**	14
5144	HACKBERRY	19
5145	BOIS D'ARC**	12
5146	CEDAR**	7
5147	BOIS D'ARC**	10
5148	HACKBERRY**	10
5149	BOIS D'ARC**	10
5150	HACKBERRY**	7
5151	ELM	10
5152	HACKBERRY**	7
5153	CEDAR**	6
5154	BOIS D'ARC**	34
5155	BOIS D'ARC**	36
5156	CEDAR**	10
5157	HACKBERRY	20
5158	BOIS D'ARC**	8
5159	HACKBERRY	13
5160	HACKBERRY	16
5161	HACKBERRY	12
5162	CEDAR**	8
5163	HERCULES CLUB	8
5164	CEDAR**	10
5165	CEDAR**	8
5166	CEDAR**	10
5167	CEDAR	12
5168	BOIS D'ARC**	39
5169	CEDAR**	9
5170	CEDAR**	10
5171	BOIS D'ARC**	40
5172	CEDAR	12
5173	CEDAR**	7
5174	BOIS D'ARC**	31
5175	CEDAR**	8
TOTAL CALIPER INCHES		1,173
CALIPER INCHES NON-PROTECTED		725
TOTAL CALIPER INCHES PROTECTED		416
TOTAL CAL. IN. DEAD OR POOR COND.		0
TOTAL CALIPER INCHES REMOVED*		416
TOTAL CALIPER INCHES PRESERVED		0
MITIGATION REQUIRED		251

SHADED ROWS INDICATE TREES TO BE REMOVED
 * DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES
 **NON-PROTECTED TREES

TAG	COMMON NAME	DBH (INCHES)
5176	HACKBERRY**	8
5177	CEDAR**	6
5178	BOIS D'ARC**	21
5179	HACKBERRY**	8
5180	HACKBERRY**	8
5181	CEDAR**	10
5182	BOIS D'ARC**	14
5183	CEDAR**	6
5184	BOIS D'ARC**	26
5185	HACKBERRY**	10
5186	BOIS D'ARC**	10
5187	HACKBERRY**	9
5188	BOIS D'ARC**	10
5189	BOIS D'ARC**	14
5190	HACKBERRY	16
5191	ELM	10
5192	ELM	8
5193	ELM	6
5194	BOIS D'ARC**	20
5195	BOIS D'ARC**	11
5196	HERCULES CLUB	13
5197	BOIS D'ARC**	33
5198	HACKBERRY**	8
5199	HACKBERRY**	6
5200	ELM	28
5201	CEDAR	12
5202	CEDAR**	10
5203	ELM	25
5204	WILLOW**	30
5205	WILLOW**	13
5207	WILLOW**	12
5208	WILLOW**	16
5209	BOIS D'ARC**	25
5210	HACKBERRY	20
5211	HERCULES CLUB	10
5212	HACKBERRY**	10
5213	BOIS D'ARC**	28
5214	HACKBERRY**	10
5215	HACKBERRY**	10
5216	HACKBERRY**	10
5217	HERCULES CLUB	8
5218	HERCULES CLUB	8
5219	HACKBERRY	12
5220	HACKBERRY	14

TOTAL CALIPER INCHES 1,599
 CALIPER INCHES NON-PROTECTED 623
 TOTAL CALIPER INCHES PROTECTED 1,165
 TOTAL CAL. IN. DEAD OR POOR COND. 68
 TOTAL CALIPER INCHES REMOVED* 716
 TOTAL CALIPER INCHES PRESERVED 449
 MITIGATION REQUIRED 1,058*

SHADED ROWS INDICATE TREES TO BE REMOVED
 * DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES
 **NON-PROTECTED TREES

DESCRIPTION	CALIPER INCHES	FEATURE TREES	FEATURE TREES REMOVED 2:1	PRIMARY PROTECTED TREES	PRIMARY PROTECTED REMOVED 1:1	SECONDARY PROTECTED TREES	SECONDARY PROTECTED REMOVED 0.5:1	NON-PROTECTED TREES
TOTAL TREES ON SITE (NOT INC. DEAD OR POOR CONDITION TREES)	3,511.5	787		777		625.5		1,584
TOTAL PROTECTED TREES	2,189.5							
TREES REMOVED	1,318.0		521		353		444	
TOTAL MITIGATION REQUIRED	1,617.0		1,042		353		222	
20% INTO TREE FUND (\$200 / INCH)	323.4							
4" TREES PLANTED FOR MITIGATION (107)	428.0							
BALANCE OF MITIGATION	1189.0							

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
STONE CREEK BALANCE LTD
 ABSTRACT. NO 131
 8.684 AC (378,275 SF)

OWNER:
 DuWEST REALTY, LLC
 4403 N.CENTRAL EXWAY SUITE #200
 DALLAS, TX 75025
 CONTACT: BOWEN HENDRIX
 PH: 214.918.1804

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: DREW DONOSKY
 PH: 817.281.0572

CASE NUMBER
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

 DIRECTOR OF PLANNING AND ZONING

TREESCAPE PLAN

EXISTING TREE INVENTORY

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 04/05/2022

SHEET
TD-2

File No. 2022-002
 CASE # SP2022-012



PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 DREW DONOSKY
 Engineer, License No. 125651, State of Texas, dated 8/11/2023

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

PLOTTED BY: DARCY BRANDON
 PLOT DATE: 8/11/2023 2:56 PM
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_T0-2022-08-10.DWG
 LAST SAVED: 8/11/2023 2:56 PM

TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL "T" SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

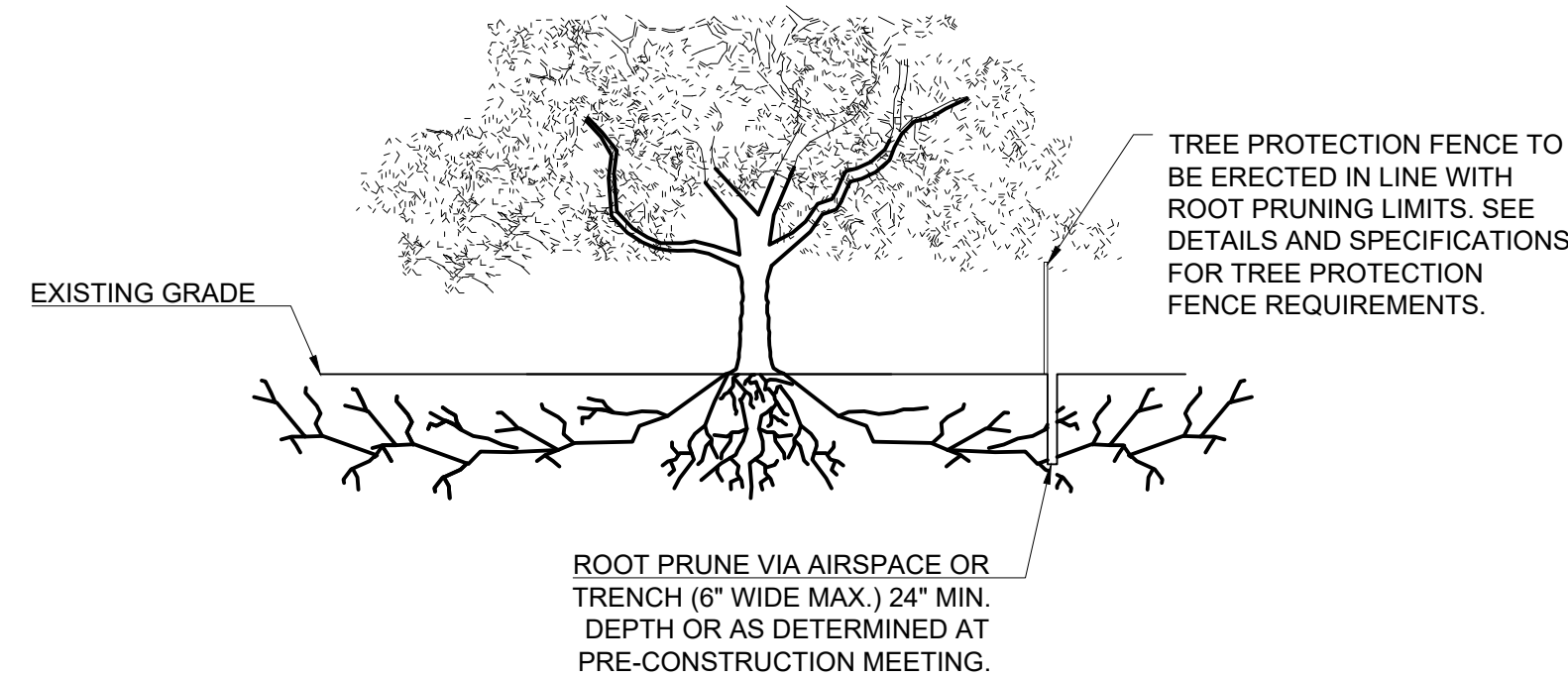
CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ) EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST. AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

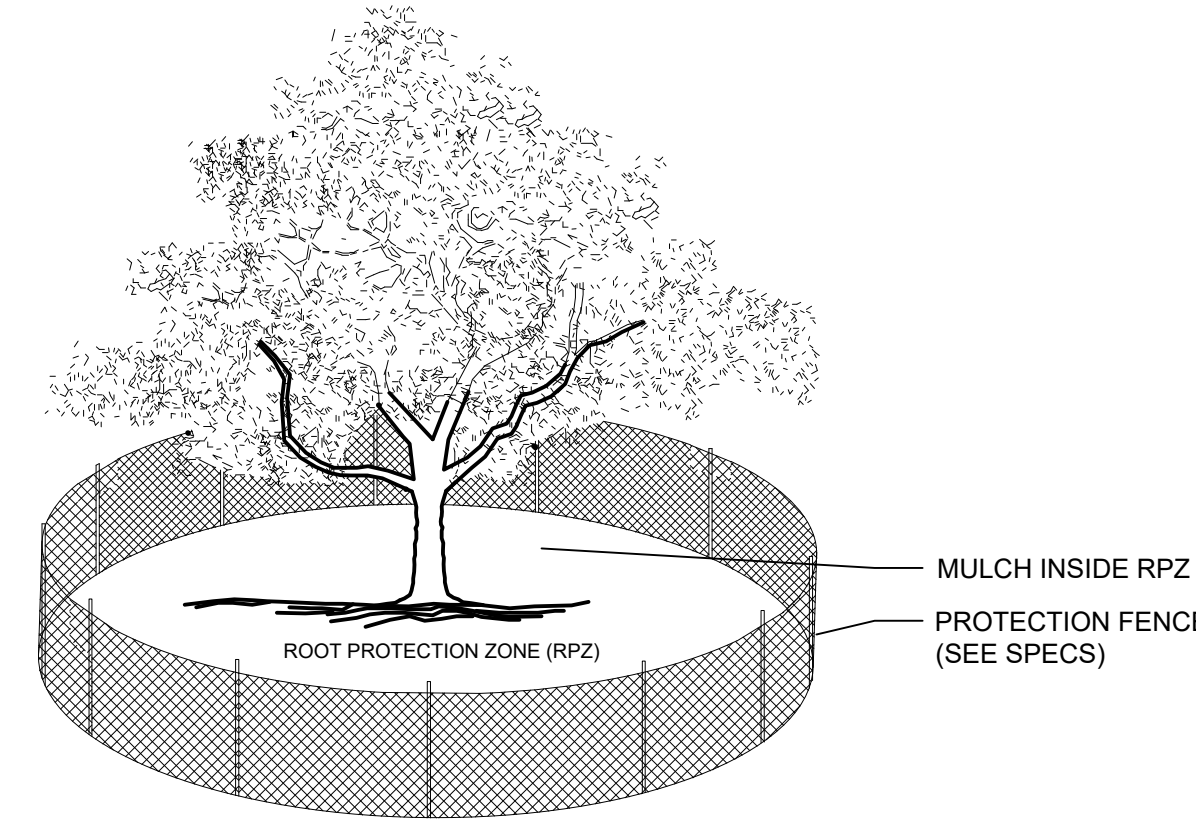
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



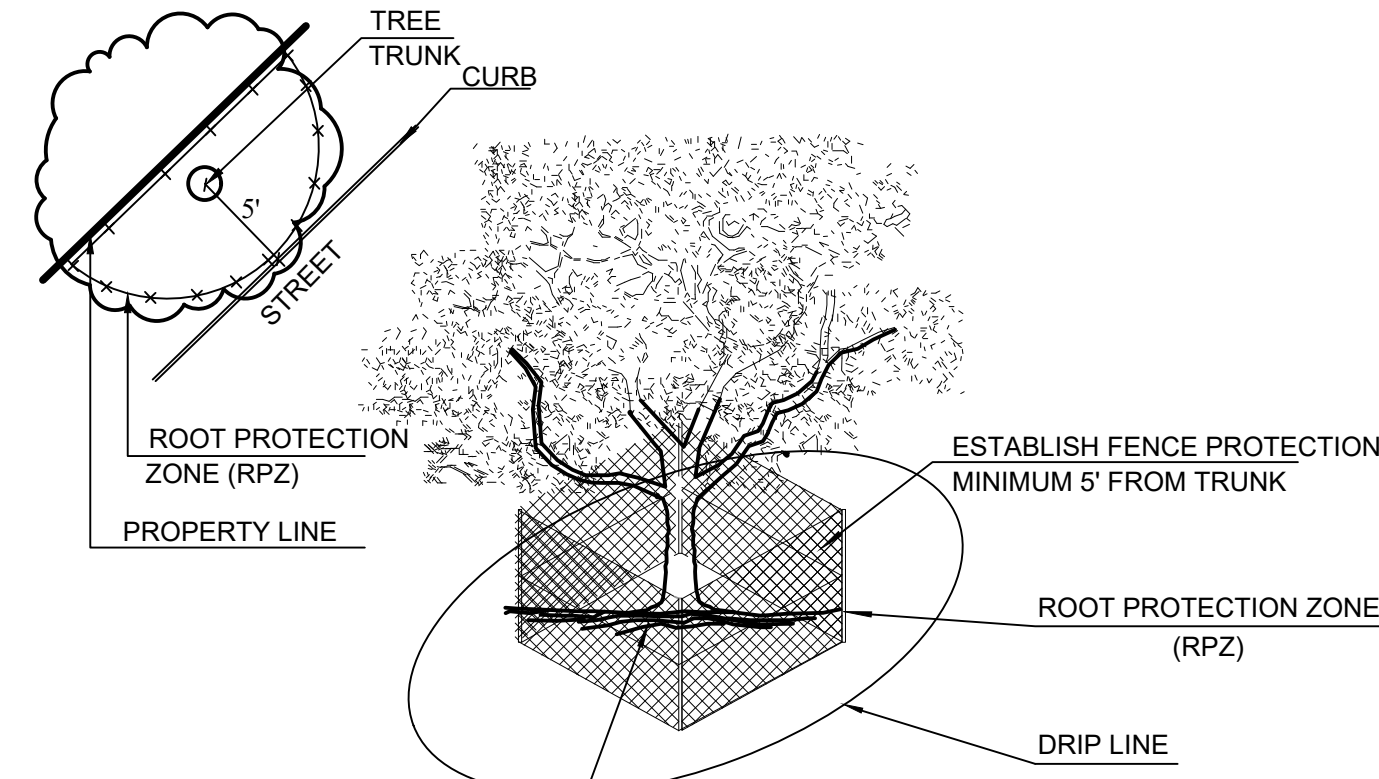
D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE



NOTES:

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

A TREE PROTECTION FENCE
SCALE: NOT TO SCALE



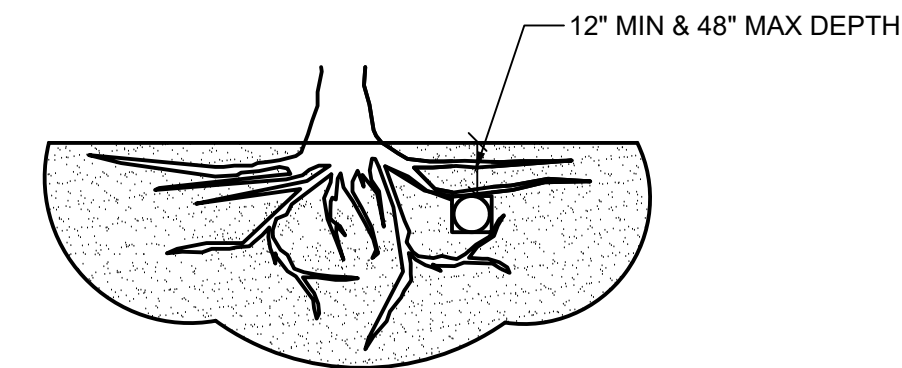
NOTES:

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

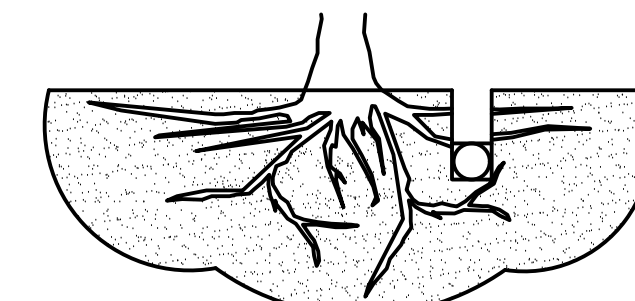
B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3\"/>

C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE



PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
DREW DONOSKY
Engineer, License No. 125651, State of Texas, 8/11/2023

**DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX**

TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:

STONE CREEK BALANCE LTD
ABSTRACT, NO 131
8.684 AC (378,275 SF)

OWNER:

DUWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:

CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER

Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

**TREESCAPE PLAN
DETAILS & SPECIFICATIONS**

DESIGN: LRR
DRAWN: LRR
CHECKED: CLC
DATE: 04/05/2022

SHEET
TD-3

File No. 2022-012
CASE # SP2022-012

PLOTTED BY: DARCY BRANDON
 PLOT DATE: 8/11/2023 2:57 PM
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA\PROJECTS\2022\VEDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_TID-2022-08-10.DWG
 LAST SAVED: 8/11/2023 2:56 PM

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2023

PROJECT NUMBER: Z2023-045
PROJECT NAME: Amendment to PD-50
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Cari Foote for the approval of a Zoning Change amending Planned Development District 50 (PD-50) [Ordinance No. 17-19] for the purpose of allowing the General Personal Services land use by Specific Use Permit (SUP) for all properties within the district, being a 21.266-acre tract of land situated within the S. S. McCurry Survey, Abstract No. 146 and B. F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, generally located along N. Goliad Street [SH-205] north of Olive Street and south of Live Oak Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	09/21/2023	Approved w/ Comments

09/21/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Cari Foote of CFPC Investments, LLC for the approval of a Zoning Change amending Planned Development District 50 (PD-50) [Ordinance No. 17-19] for the purpose of allowing the General Personal Services land use by Specific Use Permit (SUP) for all properties within the district, being a 21.266-acre tract of land situated within the S. S. McCurry Survey, Abstract No. 146 and B. F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, generally located along N. Goliad Street [SH-205] north of Olive Street and south of Live Oak Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2028-045) in the lower right-hand corner of all pages on future submittals.

I.4 A General Personal Service is defined as "(e)stablishments primarily engaged in providing services generally involving the care of the person and/or his/her apparel including but not limited to barber and beauty shops, dressmaking, shoe shining, dry-cleaning and laundry pick-up stations, tailor or seamstress, and reducing salons/health clubs." (Subsection 02.02. F. 16, of Article 13, UDC)

I.5 The underlying zoning for Planned Development District 50 (PD-50) is Residential Office (RO) District. Within the Residential Office (RO) District the General Personal Service land use is not permitted. The applicant is requesting to amend PD-50 to allow a General Personal Service land use through a Specific Use Permit (SUP). If approved, any new General Personal Service land use locating within PD-50 must first obtain a discretionary SUP before the issuance of a Certificate of Occupancy (CO).

M.6 Please review the attached draft ordinance prior to the September 26, 2023 Planning & Zoning Commission meeting, and provide staff with your markups by October 3, 2023.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 10, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 26, 2023.

I.8 The projected City Council meeting dates for this case will be October 16, 2023 (1st Reading) and November 6, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/19/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/21/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/18/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/18/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	09/22/2023	N/A
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 925 N. GOLIAD STREET

SUBDIVISION ISAAC PENA ADDITION

LOT 1 BLOCK A

GENERAL LOCATION

Prop. ID: 71940

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RO / PD-50

CURRENT USE R/O

PROPOSED ZONING Amending PD-50

PROPOSED USE General Personal Service - SUP

ACREAGE 1.0

LOTS [CURRENT] 1.0

LOTS [PROPOSED] —

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER CFPC INVESTMENTS, LLC

APPLICANT

CONTACT PERSON CARI FOOTE

CONTACT PERSON

ADDRESS P.O. BOX 1731 MARBLE FALLS

ADDRESS

CITY, STATE & ZIP Tx. 78654

CITY, STATE & ZIP

PHONE 830. 798. 5884

PHONE

E-MAIL CFOOTE@PROFESSIONAL COUNSELING.US

E-MAIL

NOTARY VERIFICATION [REQUIRED]

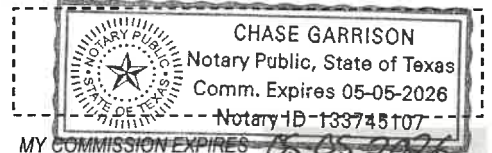
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Cari Foote [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 25.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF September, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

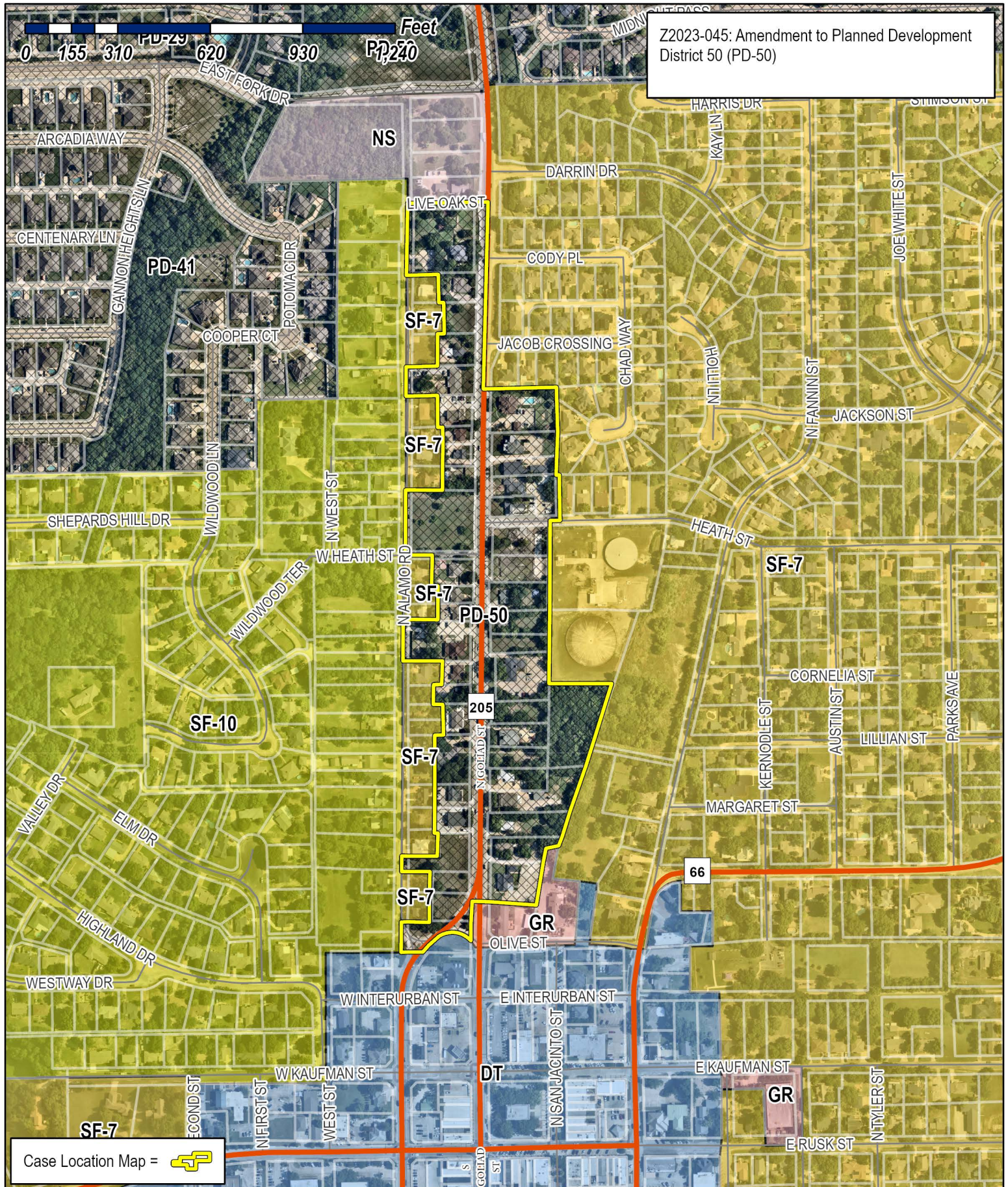
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF September, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



Z2023-045: Amendment to Planned Development District 50 (PD-50)



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

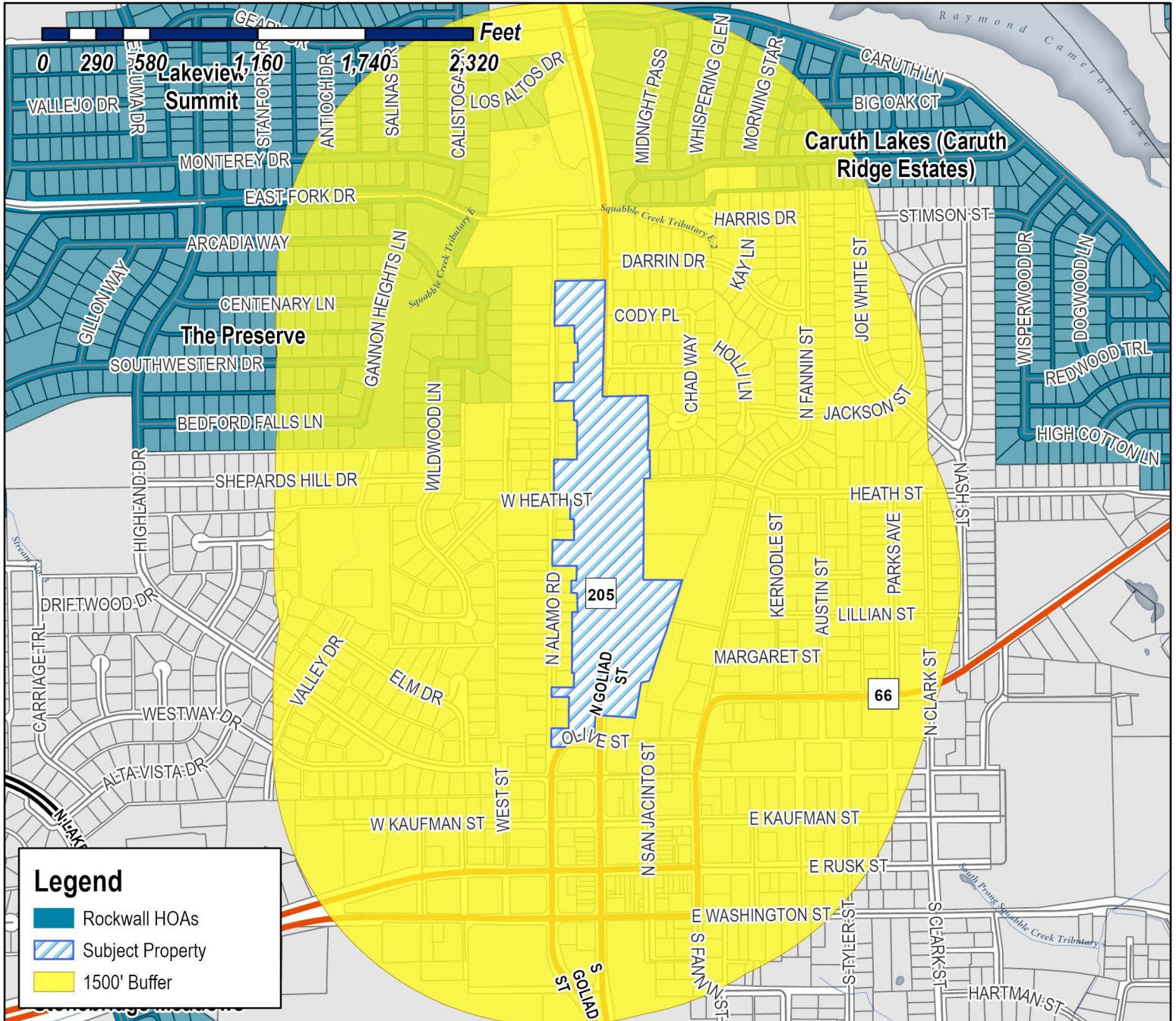
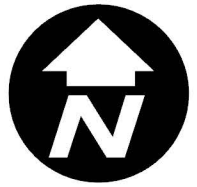




City of Rockwall

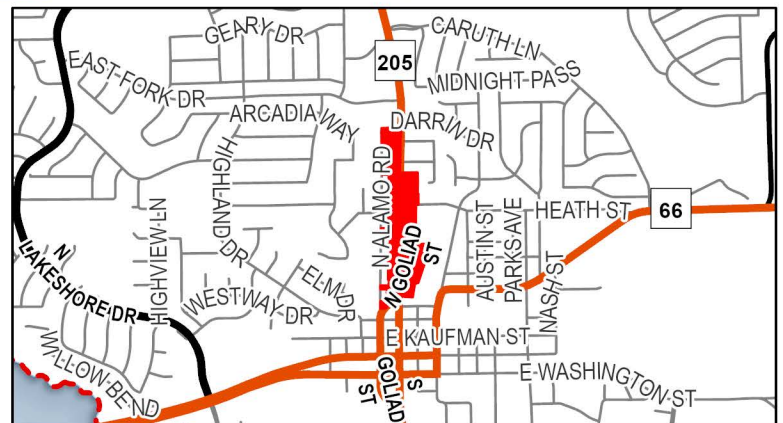
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2023-045
Case Name: Amendment to PD-50
Case Type: Zoning
Zoning: Planned Development District 50 (PD-50)

Date Saved: 9/13/2023
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Zavala, Melanie
Sent: Friday, September 22, 2023 10:32 AM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-045]
Attachments: Public Notice (P&Z) (09.19.2023).pdf; HOA Map (09.13.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *September 22, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, October 10, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, October 16, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-045: Amendment to PD-50

Hold a public hearing to discuss and consider a request by Cari Foote of CFPC Investments, LLC for the approval of a *Zoning Change* amending Planned Development District 50 (PD-50) [*Ordinance No. 17-19*] for the purpose of allowing the *General Personal Services* land use by Specific Use Permit (SUP) for all properties within the district, being a 21.266-acre tract of land situated within the S. S. McCurry Survey, Abstract No. 146 and B. F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, generally located along N. Goliad Street [*SH-205*] north of Olive Street and south of Live Oak Street, and take any action necessary.

Thank You,

Melanie Zavala

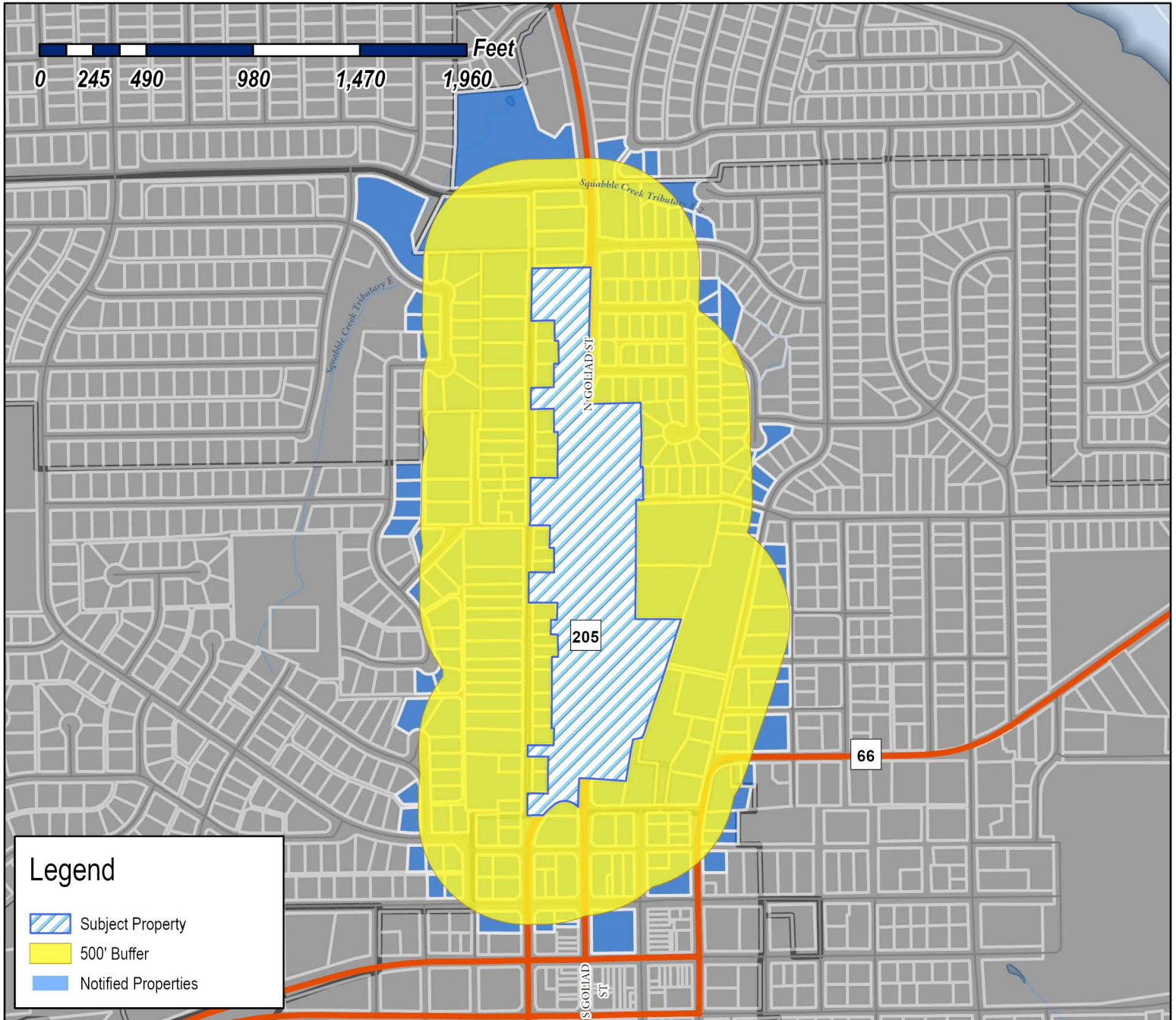
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

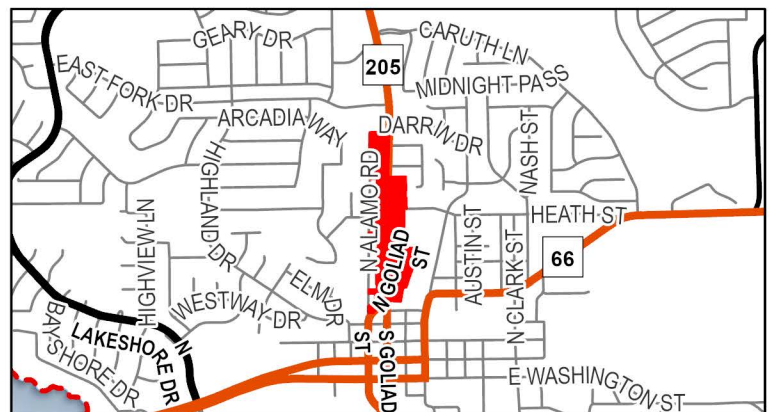
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-045
Case Name: Amendment to PD-50
Case Type: Zoning
Zoning: Planned Development District 50 (PD-50)

Date Saved: 9/13/2023

For Questions on this Case Call: (972) 771-7746



RESIDENT
100 E HEATH
ROCKWALL, TX 75087

RESIDENT
1001 HOLLI LN
ROCKWALL, TX 75087

RESIDENT
1001 N GOLIAD
ROCKWALL, TX 75087

RHODES NANCY CLAYCOMB
1003 HOLLI LN
ROCKWALL, TX 75087

RESIDENT
1005 HOLLI LN
ROCKWALL, TX 75087

RESIDENT
101 E RUSK
ROCKWALL, TX 75087

MUMMEY MAURICE E ETUX
1010 HOLLI LANE
ROCKWALL, TX 75087

RESIDENT
102 W KAUFMAN
ROCKWALL, TX 75087

CALLIER JENNA AND LOGAN
104 RUSH CREEK
HEATH, TX 75032

RESIDENT
104 W KAUFMAN
ROCKWALL, TX 75087

RESIDENT
105 OLIVE ST
ROCKWALL, TX 75087

LOFLAND WILLIAM B
105 E KAUFMAN ST
ROCKWALL, TX 75087

105 N ALAMO LLC
105 N ALAMO
ROCKWALL, TX 75032

WIMPEE JOE
105 W KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
106 W KAUFMAN
ROCKWALL, TX 75087

MANLEY MICHAEL J AND MARY F
1065 MIDNIGHT PASS
ROCKWALL, TX 75087

RESIDENT
107 E KAUFMAN
ROCKWALL, TX 75087

MORGAN JEFFREY E
1071 MIDNIGHT PASS
ROCKWALL, TX 75087

ADDIS RUTH
1079 MIDNIGHT PASS
ROCKWALL, TX 75087

RESIDENT
108 INTERURBAN
ROCKWALL, TX 75087

RESIDENT
109 E KAUFMAN
ROCKWALL, TX 75087

CURANOVIC JOHN
109 ELM CREST DR
ROCKWALL, TX 75087

RESIDENT
109 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
111 N GOLIAD ST
ROCKWALL, TX 75087

WAGNER GERALD P
112 LOS PECES
GUN BARRELL, TX 75156

HILL TOBY VERN H & ANGELA DAWN
113 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
115 E HEATH ST
ROCKWALL, TX 75087

STORY CATHERINE C
117 E HEATH ST
ROCKWALL, TX 75087

GARRISON MONA AND RONALD
119 E HEATH STREET
ROCKWALL, TX 75087

SFR TEXAS ACQUISITIONS 3 LLC
120 S RIVERSIDE PLAZA #2000
CHICAGO, IL 60606

HPA TEXAS SUB 2017-1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

FITE CENTRE LLC
1200 FRONTIER TRAIL
ROCKWALL, TX 75032

RAC OF ROCKWALL LLC
1220 CRESTCOVE
ROCKWALL, TX 75087

DAFFRON JAMES R AND DEBBIE A
12207 DARK HOLLOW RD
ROCKWALL, TX 75087

380 PROPERTY INC
12207 DARK HOLLOW RD
ROCKWALL, TX 75087

LEAL CAROL RHEA
1307 RIDGE ROAD #2317
ROCKWALL, TX 75087

SWIERCINSKY JOSHUA L
1355 CLUBHILL DR
ROCKWALL, TX 75087

LOZANO MANUEL A
1388 S FM 740
HEATH, TX 75126

VANDERSLICE R D AND LYNN
1408 S LAKESHORE DR
ROCKWALL, TX 75087

VANDERSLICE ROBERT
1408 S LAKESHORE DRIVE
ROCKWALL, TX 75087

DOUBLE T VENTURES LLC
1500 S KREYMER LN
WYLIE, TX 75098

MILNER JOHN R AND SHARON G
1521 COUNTY ROAD 3327
GREENVILLE, TX 75402

RAYWAY PROPERTIES LLC
1572 N MUNSON RD
ROYSE CITY, TX 75189

WRIGHT JOHN M & SUSAN L
1605 SEASCAPE CT
ROCKWALL, TX 75087

MEYERS STUART A & BRENDA S
1614 S LAKESHORE DR
ROCKWALL, TX 75087

MCKEE RICHARD AND KALASI
16713 MEADOWBROOK BV
FORNEY, TX 75126

CGC GROUP INC
1690 LAKE FOREST DR
ROCKWALL, TX 75087

CRAWFORD STEVE
1709 GASLIGHT CT
SEABROOK, TX 77586

ARISTA KAUFMAN LLC
1717 MAIN STREET SUITE 2950
DALLAS, TX 75201

BARNETT JOSEPH RODNEY & LADONNA
1855 HIDDEN HILLS
ROCKWALL, TX 75087

CARLON WILLIAM ANDREW
192 JACOB CROSSING
ROCKWALL, TX 75087

FRYER WILLIAM L III AND LAUREN S
193 JACOB CROSSING
ROCKWALL, TX 75087

BLACK SHIRLEY M
193 PORT SAINT CLAIRE
ARANSAS PASS, TX 78336

RESIDENT
194 CODY PLACE
ROCKWALL, TX 75087

CROY DANNY L
195 CODY PL
ROCKWALL, TX 75087

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196 JACOB CROSSING
ROCKWALL, TX 75087

STEWART DEBORAH LYNN
196 DARRIN DR
ROCKWALL, TX 75087

GALLEGOS JUAN ADOLFO
197 DARRIN DR
ROCKWALL, TX 75087

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198 CODY PLACE
ROCKWALL, TX 75087

KANSIER GAYLE
198 DARRIN DR
ROCKWALL, TX 75087

DOOLEY RHONDA N
19801 E 86TH ST N
OWASSO, OK 74055

RESIDENT
199 DARRIN DR
ROCKWALL, TX 75087

RESIDENT
199 JACOB CROSSING
ROCKWALL, TX 75087

YOUNG BARBARA NEUMANN
199 CODY PLACE
ROCKWALL, TX 75087

917 PROPERTIES LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES, SERIES 5 LLC
2 MANOR COURT
HEATH, TX 75032

RESIDENT
200 JACOB CROSSING
ROCKWALL, TX 75087

SELLERS ROBERT STEVEN
200 DARRIN DRIVE
ROCKWALL, TX 75087

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201 OLIVE ST
ROCKWALL, TX 75087

MCWHIRTER CRAIG L
201 DARRIN DR
ROCKWALL, TX 75087

COMMUNITY BANK
201 E KAUFMAN ST
ROCKWALL, TX 75087

CITY LIFT STATION
201 E WASHINGTON ST
ROCKWALL, TX 75087

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201 N ALAMO
ROCKWALL, TX 75087

RESIDENT
202 INTERURBAN ST
ROCKWALL, TX 75087

MILLER ROBERT AND KATY
202 CODY PL
ROCKWALL, TX 75087

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202 DARRIN DR
ROCKWALL, TX 75087

LOVELL CHRISTINE MARRE AND JOSHUA
202 E HEATH
ROCKWALL, TX 75087

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202 N WEST ST
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 NORTH SAN JACINTO
ROCKWALL, TX 75087

RESIDENT
203 JACOB CROSSING
ROCKWALL, TX 75087

CLAY KAREN L
203 CODY PL
ROCKWALL, TX 75087

DAVIS ROBERT C
203 DARRIN
ROCKWALL, TX 75087

BLANKENSHIP JAMES WISE & LISA
203 E HEATH ST
ROCKWALL, TX 75087

CANO OSCAR & NANCY
203 N. ALAMO RD
ROCKWALL, TX 75087

NELSON THERESE D
204 DARRIN DR
ROCKWALL, TX 75087

HATCHER MATTHEW S & IRENE
204 HARRIS DR
ROCKWALL, TX 75087

PHILLIPS TERESA
204 JACOB CROSSING
ROCKWALL, TX 75087

RESIDENT
204 N WEST ST
ROCKWALL, TX 75087

RESIDENT
204 W HEATH ST
ROCKWALL, TX 75087

NBN COMMERCIAL GROUP LLC
2040 N BELT LINE RD STE 400
MESQUITE, TX 75150

DRAKE EDWARD J II & JENNIFER R
205 DARRIN DRIVE
ROCKWALL, TX 75087

ESTATE OF ELAINE I PETERSON
2054 BRUCE RD
MARTIN, GA 30557

RESIDENT
206 CODY PLACE
ROCKWALL, TX 75087

RUDOLPH COLLIN J
206 DARRIN DRIVE
ROCKWALL, TX 75087

RESIDENT
206 N FANNIN ST
ROCKWALL, TX 75087

PRITCHETT JOHNETTA
206 W HEATH ST
ROCKWALL, TX 75087

RESIDENT
207 DARRIN DR
ROCKWALL, TX 75087

RESIDENT
207 JACOB CROSSING
ROCKWALL, TX 75087

MITCHELL KELLI A &
RYAN S WENZEL
207 CODY PL
ROCKWALL, TX 75087

RESIDENT
208 JACOB CROSSING
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC
208 SUMMIT RIDGE
ROCKWALL, TX 75087

ESTATE OF DOSVILLE PEOPLES
208 W HEATH ST
ROCKWALL, TX 75087

HENSON ORA LOUISE
209 DARRIN DR
ROCKWALL, TX 75087

CONFIDENTIAL
210 CODY PL
ROCKWALL, TX 75087

RESIDENT
211 JACOB CROSSING
ROCKWALL, TX 75087

CALDWELL KARISSA A
211 CODY PLACE
ROCKWALL, TX 75087

SHIPLEY JASON P & ELIZABETH
212 JACOB XING
ROCKWALL, TX 75087

FOSTER EDWARD M & TERI L
214 CODY PL
ROCKWALL, TX 75087

WELLS LEE E & LYNDA S
2146 HARRELL STREET
GREENVILLE, TX 75402

MURRAY JOHN DAVID
215 CODY PLACE
ROCKWALL, TX 75087

DAVIS RICHARD S & LYNDELL R
2175 LAKE FOREST DR
ROCKWALL, TX 75087

DUZAN TIMOTHY AND ANGELA
219 CODY PL
ROCKWALL, TX 75087

KHATER CHARLES ETUX
2368 E FM 552
ROCKWALL, TX 75087

ROCKWALL RUSTIC RANCH LLC
240 WILLOWCREST
ROCKWALL, TX 75032

SEYMORE INVESTMENTS LLC
242 C NATIONAL DR
ROCKWALL, TX 75032

LAURENCE CROSSING LLC
2500 DISCOVERY BLVD SUITE 300
ROCKWALL, TX 75032

LAURENCE CROSSING LLC
2500 DISCOVERY BLVD SUITE 300
ROCKWALL, TX 75032

HOLLON GREGORY D
2778 S FM 549
ROCKWALL, TX 75032

WEST MICHAEL
299 SHENNENDOAH LANE
ROCKWALL, TX 75087

RESIDENT
301 HIGHLAND DR
ROCKWALL, TX 75087

AUSTIN MICHAEL CAIN 2005 TRUST
301 COOPER COURT
ROCKWALL, TX 75087

ORTAMOND DONALD J & JANA R
301 MARGARET ST
ROCKWALL, TX 75087

BEDFORD TERRI W
301 N ALAMO RD
ROCKWALL, TX 75087

ROCK N' ROLL REALTY LLC
301 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
301 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
301 N SAN JACINTO
ROCKWALL, TX 75087

FERRIS BETH
301 WILDWOOD LN
ROCKWALL, TX 75087

MATTINGLY LESLIE G AND JENNIFER S
302 ARCADIA WAY
ROCKWALL, TX 75087

LOFTUS GERALDINE J
302 E MARGARET ST
ROCKWALL, TX 75087

JOHNSON AMANDA DAWN
302 ELM DRIVE
ROCKWALL, TX 75087

WARREN PEGGY E
302 HIGHLAND DR
ROCKWALL, TX 75087

RESIDENT
302 N FANNIN ST
ROCKWALL, TX 75087

JOY LUTHERAN CHURCH
302 N GOLIAD ST
ROCKWALL, TX 75087

BRUCE DANA G & JEANNE L
302 N SAN JACINTO ST
ROCKWALL, TX 75087

CRANE KATHERINE LYNN
302 W KAUFMAN ST
ROCKWALL, TX 75087

SOLIS JOHNNY & JULIE
3021 RIDGE RD SUITE A BOX 93
ROCKWALL, TX 75032

SMITH WENDY
303 DERICK DR
FATE, TX 75189

WILLIAMS RONALD DAVID AND PATRICIA
303 ELM DR
ROCKWALL, TX 75087

WHITE SANDRA JEAN
303 HIGHLAND DR
ROCKWALL, TX 75087

RESIDENT
303 N ALAMO
ROCKWALL, TX 75087

ANGLE GLENDA ANNE
303 WILDWOOD LN
ROCKWALL, TX 75087

ADAMS-ROMANO KEVIN PATRICK & JULLIAN
ROSE
303 WILLIAMS ST
ROCKWALL, TX 75087

RESIDENT
304 HIGHLAND DR
ROCKWALL, TX 75087

RESIDENT
304 WILLIAMS ST
ROCKWALL, TX 75087

GLASS KATHLEEN J
304 ELM DR
ROCKWALL, TX 75087

RESIDENT
304 N SAN JACINTO
ROCKWALL, TX 75087

ODEN STORMIE E AND TAYLOR C
304 WEST KAUFMAN STREET
ROCKWALL, TX 75087

WHITE RUNELLE
305 HIGHLAND DR
ROCKWALL, TX 75087

RESIDENT
305 N FANNIN ST
ROCKWALL, TX 75087

KING BOBBY R ETUX
305 WILDWOOD LN
ROCKWALL, TX 75087

RESIDENT
306 WILLIAMS ST
ROCKWALL, TX 75087

BELL MARY NELL
306 ELM DR
ROCKWALL, TX 75087

STANLEY PAUL & SHERI
306 HIGHLAND DR
ROCKWALL, TX 75087

RESIDENT
306 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
307 N FANNIN ST
ROCKWALL, TX 75087

WATCHMEN REAL ESTATE LLC
3077 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
308 FANNIN
ROCKWALL, TX 75087

SCHWEIKERT FERN ELLEN
308 ELM DR
ROCKWALL, TX 75087

NJK ENTERPRISES LLC
31 ORLEANS CIRCUIT
CECIL HILLS SYDNEY, NSW 2171 AUSTRALIA,

GATES CHARLES H & BRENDA F
310 ELM DR
ROCKWALL, TX 75087

RESIDENT
312 ELM DR
ROCKWALL, TX 75087

UNION BANK & TRUST CO
SUCCESSOR TRUSTEE EMILY SUE WHITEHEAD
REV TRUST
312 CENTRAL AVE SE, STE 508
MINNEAPOLIS, MN 55414

HARKLAU CAROLINE
312 DARTBROOK
ROCKWALL, TX 75087

SOUTHERN ROOTS LLC
312 DARTBROOK
ROCKWALL, TX 75087

METOYER GREGORY K AND FRANCES M
317 COOPER STREET
ROCKWALL, TX 75087

WEAST BRIAN J AND
CYNTHIA C BROWN
318 ARCADIA WAY
ROCKWALL, TX 75087

WEBER MARY JANE
318 COOPER CT
ROCKWALL, TX 75087

HEALDAN GROUP INC
3460 MARRON RD SUITE 103-144
OCEANSIDE, CA 92056

SNEAK PEAK HOMES LLC
3483 TIMBERVIEW RD
DALLAS, TX 75229

RB40 INVESTMENTS LLC
400 CHIPPENDALE DRIVE
HEATH, TX 75032

TURNER KYLE RADEY
4002 BROWNSTONE CT
DALLAS, TX 75204

KMA LLC
401 COUNTRY RIDGE RD
ROCKWALL, TX 75087

RESIDENT
401 N ALAMO
ROCKWALL, TX 75087

RESIDENT
401 N FANNIN ST
ROCKWALL, TX 75087

MORENO ANTONIO AND SUZANNE T
402 WILDWOOD LANE
ROCKWALL, TX 75087

RESIDENT
404 N GOLIAD
ROCKWALL, TX 75087

MONTGOMERY CAMERON K AND AMY E
404 WILDWOOD LANE
ROCKWALL, TX 75087

RESIDENT
405 N ALAMO
ROCKWALL, TX 75087

NICHOLSON JACQUELYN SUE AND PAUL
EDWARD
405 N FANNIN STREET
ROCKWALL, TX 75087

RESIDENT
405 N GOLIAD
ROCKWALL, TX 75087

JONES GERWYN AND JANE
406 N ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
406 N GOLIAD
ROCKWALL, TX 75087

DAVENPORT RENTAL PROPERTIES - SERIES 200
DARRIN DRIVE
407 CASTLE PINES DRIVE
HEATH, TX 75032

DAVENPORT RENTAL PROPERTIES LLC
407 CASTLE PINES DRIVE
HEATH, TX 75032

HOWELL RONALD & MICHELE
434 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

MOFFATT DANA MICHELLE
4756 SECRET COVE LANE
HEATH, TX 75032

ADAT ESTATE LLC
482 ARCADIA WAY
ROCKWALL, TX 75087

ADAT ESTATE LLC
482 ARCADIA WAY
ROCKWALL, TX 75087

ADAT ESTATE LLC
482 ARCADIA WAY
ROCKWALL, TX 75087

ADAT ESTATE LLC
482 ARCADIA WAY
ROCKWALL, TX 75087

TREVINO BERTHA & LOUIS
4917 SAINT JAMES CT
MESQUITE, TX 75150

BAF 3 LLC
5001 PLAZA ON THE LAKE SUITE 200
AUSTIN, TX 78746

RESIDENT
501 KERNODLE
ROCKWALL, TX 75087

MILDER SCOTT & LESLIE
501 CAMP CREEK RD
ROCKWALL, TX 75087

RESIDENT
501 N ALAMO
ROCKWALL, TX 75087

RESIDENT
501 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
502 N ALAMO
ROCKWALL, TX 75087

RESIDENT
502 N GOLIAD
ROCKWALL, TX 75087

SMITH MARY SUE
502 W RUSK ST
ROCKWALL, TX 75087

WOODARD CARL E ET UX
502 WILDWOOD TER
ROCKWALL, TX 75087

STRINGFELLOW HOLDINGS, LLC
5023 PARKVIEW PLACE
ADDISON, TX 75001

RESIDENT
503 N ALAMO
ROCKWALL, TX 75087

SEREGOW JAMES AND KATHLEEN
503 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
503 N GOLIAD ST
ROCKWALL, TX 75087

BYRUM RICKY CONN AND JO ANN
504 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
504 N GOLIAD
ROCKWALL, TX 75087

NASH M CALVIN ETUX
504 WILDWOOD TER
ROCKWALL, TX 75087

RESIDENT
505 WILDWOOD TERRACE
ROCKWALL, TX 75087

TUCKER PAMELA
505 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
505 N GOLIAD
ROCKWALL, TX 75087

SOUTHERN ROOTS LLC
505 N GOLIAD STREET
ROCKWALL, TX 75087

LAYTON ERIC A AND APRIL L
506 N ALAMO
ROCKWALL, TX 75087

RESIDENT
506 N GOLIAD
RESIDENT, TX 75087

HICKERSON JON D
506 WILDWOOD TER
HICKERSON JON D, TX 75087

FLEMING HALLIE B
507 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
507 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
508 N ALAMO
ROCKWALL, TX 75087

HAM JOSHUA L
512 HIGHVIEW LANE
ROCKWALL, TX 75087

RNDI COMPANIES INC
519 E INTERSTATE 30 # 157
ROCKWALL, TX 75087

JENNIFER'S HOMES INC
519 E INTERSTATE 30 #442
ROCKWALL, TX 75087

FANG PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

SIDDALL RYAN AND
TAYLOR GILSTRAP
5469 JEFFERSON DR
SACHSE, TX 75048

FRENCH MELISSA AND JACOB AARON
5582 YARBOROUGH DR
FORNEY, TX 75126

WYLIE KIMBERLY
5904 COUNTY ROAD 2592
ROYSE CITY, TX 75189

STAR 2022 SFR3 BORROWER LP
591 WEST PUTNAM AVE
GREENWICH, CT 6830

GEN 39:2-6 LLC
599 BORDEAUX DRIVE
ROCKWALL, TX 75087

RESIDENT
601 KERNODLE ST
ROCKWALL, TX 75087

RESIDENT
601 N ALAMO
ROCKWALL, TX 75087

HALL DOUGLAS A & MARCI
601 N FANNIN ST
ROCKWALL, TX 75087

CARDENAS CECILIO & CARMEN
602 N ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
602 N GOLIAD
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA
602 W RUSK ST
ROCKWALL, TX 75087

HANSARD STANLEY E ETUX DALE
602 WILDWOOD LN
ROCKWALL, TX 75087

HAMILTON JOANN
603 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
603 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
604 GOLIAD
ROCKWALL, TX 75087

DOMINGUEZ, JOSE AND JOHANNA
604 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
604 N GOLIAD
ROCKWALL, TX 75087

KENDALL JESSICA
604 WILDWOOD LANE
ROCKWALL, TX 75087

RESIDENT
605 N ALAMO
ROCKWALL, TX 75087

POINTER PRICE
605 NAKOMA DR
ROCKWALL, TX 75087

MURRAY JAMES & VIRGINIA
606 WILDWOOD LN
ROCKWALL, TX 75087

MULLINS CHRISTOPHER CHARLES AND ARYN
ELISE
<Null>
607 KERNODLE ST <Null>
ROCKWALL, TX 75087

BELL ZACHARY A AND ELIZABEH H
608 WILDWOOD LN
ROCKWALL, TX 75087

SIENTY RYAN FAIN
6182 COUNTY RD 4400
COMMERCE, TX 75428

ROY LAWRENCE HANCE JR TRUST
ROY LAWRENCE HANCE JR- TRUSTEE
6946 SPERRY STREET
DALLAS, TX 75214

CASTRO MICHAEL AND RENE
700 WINDSONG LN
ROCKWALL, TX 75087

CTC TEXAN PROPERTIES LLC
7005 CHASE OAKS BLVD SUITE 180
PLANO, TX 75025

SMITH G DAVID
702 N GOLIAD ST
ROCKWALL, TX 75087

TIBBETTS ELAINE
703 KERNODLE ST
ROCKWALL, TX 75087

RESIDENT
703 N ALAMO RD
ROCKWALL, TX 75087

IRBY DENNIS
703 N GOLIAD ST
ROCKWALL, TX 75087

J-PEG PROPERTIES LLC
704 N GOLIAD
ROCKWALL, TX 75087

ZIMMERMAN CAROLYN
705 KERNODLE ST
ROCKWALL, TX 75087

RESIDENT
705 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
705 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
706 N ALAMO
ROCKWALL, TX 75087

CALABRESE CORINNA RAE
707 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
708 N ALAMO
ROCKWALL, TX 75087

RESIDENT
710 N ALAMO
ROCKWALL, TX 75087

CRISWELL BARBARA
7110 HUNT LANE
ROCKWALL, TX 75087

BROWN JONATHAN R & CHRISTY A
<Null>
7814 KILLARNEY LANE <Null>
ROWLETT, TX 75089

CHRISTENSEN VALERIE
801 N GOLIAD
ROCKWALL, TX 75087

GUEVARA CARLOS & MONICA A
802 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
802 N GOLIAD
ROCKWALL, TX 75087

MASON MARK S & TAMARA M
802 POTOMAC DRIVE
ROCKWALL, TX 75087

JOHNSON BRADLEY K AND GINGER M
803 KERNODLE ST
ROCKWALL, TX 75087

KUCERA TIMOTHY M
803 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
803 N GOLIAD ST
ROCKWALL, TX 75087

CONSELMAN EQUITIES LLC
804 N GOLIAD STREET
ROCKWALL, TX 75087

MBK3 PROPERTY HOLDING CO LLC
804 TRUMPETER WAY
ROCKWALL, TX 75032

BUSHNELL MICHAEL S & TIFFANIE C
805 KERNODLE ST
ROCKWALL, TX 75087

NAVARRO FRANCISCO OCHOA AND
MELISSA ANN REDD
805 N ALAMO RD
ROCKWALL, TX 75087

ORTIZ ENRIQUE AROZLA
805 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
806 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
807 N ALAMO RD
ROCKWALL, TX 75087

MEJIA JULIO & MARIA R
807 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
807 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
808 N ALAMO
ROCKWALL, TX 75087

RESIDENT
808 N GOLIAD
ROCKWALL, TX 75087

GARY DENNIS AND DIANNE
809 COUNTY CLUB DRIVE
HEATH, TX 75032

MARTINEZ RAQUEL P
809 N GOLIAD ST
ROCKWALL, TX 75087

SWIERCINSKY LEXUS M
810 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
810 N GOLIAD
ROCKWALL, TX 75087

AOUN PIERRE E
811 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
812 N ALAMO
ROCKWALL, TX 75087

RESIDENT
812 N GOLIAD
ROCKWALL, TX 75087

CAIN JAMES O
815 N ALAMO RD
ROCKWALL, TX 75087

CAIN JAMES O
815 N ALAMO RD
ROCKWALL, TX 75087

STEPHEN PRAMELA AND STEPHEN JOHN
818 POTOMAC DR
ROCKWALL, TX 75087

AIBKHANOV ASHOT AND JOLI RASHID
834 POTOMAC DR
ROCKWALL, TX 75087

MCCULLEY DARREN WAYNE AND MICHELE
837 POTOMAC DRIVE
ROCKWALL, TX 75087

WAY FAMILY TRUST
8441 S FM ROAD 549
ROCKWALL, TX 75032

KUNJACHEN BLESSY AND SHIBU
852 POTOMAC DRIVE
ROCKWALL, TX 75087

MAYTAK LINA & MARK HILSTAD
853 POTOMAC DRIVE
ROCKWALL, TX 75087

PALMER WINDY E AND DONALD L
868 POTOMAC DRIVE
ROCKWALL, TX 75087

WARDELL JAKE P AND MEREDITH K
880 SHORES BLVD
ROCKWALL, TX 75087

INGLES CRISTINA LA SAIGNE
901 N ALAMO
ROCKWALL, TX 75087

CROWDER GERALDINE
901 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
902 N GOLIAD <Null>
ROCKWALL, TX 75087

EAGLE SEIKI SALES LTD
C/O ELIZABETH BURKS
902 PALO PINTO ST
WEATHERFORD, TX 76086

MOMSEN KIMBERLY
903 N ALAMO ROAD
ROCKWALL, TX 75087

HEMPHILL REBECCA AND TODD
903 NORTH FANNIN STREET
ROCKWALL, TX 75087

RESIDENT
904 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
905 N ALAMO ST
ROCKWALL, TX 75087

RESIDENT
905 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
905 N WEST ST
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH
906 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
906 N GOLIAD
ROCKWALL, TX 75087

BRIONES RONALD AND THERESA
906 N WEST
ROCKWALL, TX 75087

RESIDENT
907 N GOLIAD ST
ROCKWALL, TX 75087

JC GAERLAN LLC
907 NORTH ALAMO ROAD
ROCKWALL, TX 75087

PIERCE CAROLYN GREEN
908 N ALAMO RD
ROCKWALL, TX 75087

HEAVENLY HANDS BIRTHING CENTER PLLC
908 N GOLIAD ST
ROCKWALL, TX 75087

MARTINKUS NICOLE
908 N WEST ST
ROCKWALL, TX 75087

MOLINA JOE C II
909 N ALAMO
ROCKWALL, TX 75087

RESIDENT
909 N GOLIAD
ROCKWALL, TX 75087

MCFADIN SARA TERESA
909 N WEST STREET
ROCKWALL, TX 75087

ZAVALA VICTOR V
910 N ALAMO RD
ROCKWALL, TX 75087

PERRY RUBY DELL
910 N WEST ST
ROCKWALL, TX 75087

WHITE TIMOTHY E
9104 PRIVATE ROAD 2325
TERRELL, TX 75160

LEWIS BEN
911 N ALAMO
ROCKWALL, TX 75087

RECSA LLC
911 NORTH GOLIAD
ROCKWALL, TX 75087

JONES PAMELA J
912 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
912 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
913 N ALAMO RD
ROCKWALL, TX 75087

BAXTER JAKE STEPHEN AND CATHERINE
ELIZABETH
915 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
915 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
917 N ALAMO
ROCKWALL, TX 75087

RESIDENT
917 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
918 N ALAMO
ROCKWALL, TX 75087

RESIDENT
919 N ALAMO
ROCKWALL, TX 75087

RESIDENT
919 N GOLIAD
ROCKWALL, TX 75087

BELANGER CORKY
921 N ALAMO RD
ROCKWALL, TX 75087

BARRY BARBARA
922 N ALAMO RD
ROCKWALL, TX 75087

HUDSON SHELI O
923 N ALAMO
ROCKWALL, TX 75087

CHAVEZ ENRIQUE
923 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
924 N ALAMO
ROCKWALL, TX 75087

CRAWFORD JUANITA LIFE ESTATE AND
MICHAEL CRAWFORD
925 N ALAMO
ROCKWALL, TX 75087

RESIDENT
925 N GOLIAD
ROCKWALL, TX 75087

PRECISION GLOBAL CORPORATION
9330 LBJ FREEWAY SUITE 900
DALLAS, TX 75243

TAILLAC JEAN ANTHONY
944 CHAD WAY
ROCKWALL, TX 75087

RICE JOSHUA M
947 CHAD WAY
ROCKWALL, TX 75087

RESIDENT
948 CHAD WAY
ROCKWALL, TX 75087

CORENO FRANCISCO R
951 CHAD WAY
ROCKWALL, TX 75087

BRUMIT COURTNEY M AND DARREN D
952 CHAD WAY
ROCKWALL, TX 75087

RESIDENT
955 CHAD WAY
ROCKWALL, TX 75087

ALLEN MARK C AND
DONNA K BOYD
956 CHAD WAY
ROCKWALL, TX 75087

LEFTEROV MARTIN AND
JESSICA LADD
960 CHAD WAY
ROCKWALL, TX 75087

TO TUAN QUOC
964 CHAD WAY
ROCKWALL, TX 75087

JENSEN MIKEL K & MICHELLE
968 CHAD WAY
ROCKWALL, TX 75087

WILCOX GORDON RICHARD AND GINGER R
974 CHAD WAY
ROCKWALL, TX 75087

CRAWFORD MICHAEL & MARY
975 N ALAMO RD
ROCKWALL, TX 75087

LOWRY BRENDA
978 CHAD WAY
ROCKWALL, TX 75087

CLARK RYAN W & AMY B
982 CHAD WAY
ROCKWALL, TX 75087

GIBSON MONTE ROY & BELINDA K
986 CHAD WAY
ROCKWALL, TX 75087

SCHMIDT STEVEN R AND CORINNA A
990 CHAD WAY
ROCKWALL, TX 75087

RESIDENT
993 HOLLI LN
ROCKWALL, TX 75087

GAFFNEY BRIAN & HOPE
994 CHAD WAY
ROCKWALL, TX 75087

RESIDENT
995 HOLLI LN
ROCKWALL, TX 75087

RAWLINS DAN AND MERRIANNE
997 HOLLI LN
ROCKWALL, TX 75087

GAFFNEY RICHARD BENNETT AND MARY ANNE
998 CHAD WAY
ROCKWALL, TX 75087

MESSENGER BARNARD A & BONNIE
998 HOLLI LN
ROCKWALL, TX 75087

NELSON MICHAEL D
999 HOLLI LN
ROCKWALL, TX 75087

CAIN REVOCABLE FAMILY TRUST AND
CREDIT SHELTER TRUST AND SURVIVORS TRUST
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR
ROCKWALL, TX 75087

BOWEN JAMES A
P.O. BOX 385
CADDO MILLS, TX 75135

ODOM JAY & ALISON
P.O. BOX 578
ROCKWALL, TX 75087

THE PRESERVE HOMEOWNERS ASSOCIATION
INC
P.O. BOX 702348
DALLAS, TX 75370

K'S ADVERTISING DALLAS INC THE
PO BOX 1238
ROCKWALL, TX 75087

BUTCHER MELVIN R
PO BOX 147
QUINLAN, TX 75474

CFPC INVESTMENTS LLC
PO BOX 1731
MARBLE FALLS, TX 78654

CONSELMAN EQUITIES LLC
PO BOX 2284
ROCKWALL, TX 75087

CONSELMAN EQUITIES LLC
PO BOX 2284
ROCKWALL, TX 75087

WOMEN IN NEED INC
PO BOX 349
GREENVILLE, TX 75403

MILE HIGH BORROW 1 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

PRINGLE PHYLLIS M
PO BOX 584
ROCKWALL, TX 75087

LAND HEADQUARTERS COMPANY INC
C/O FAIR ROAD PROPERTIES INC
PO BOX 69
KEY BISCAYNE, FL 33149

RUTH DOWER LIVING TRUST DATED JUNE 3,
2014
RUTH DOWER TRUSTEE
PO BOX 871239
MESQUITE, TX 75187

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-045: Amendment to PD-50

Hold a public hearing to discuss and consider a request by Cari Foote of CFPC Investments, LLC for the approval of a Zoning Change amending Planned Development District 50 (PD-50) [Ordinance No. 17-19] for the purpose of allowing the General Personal Services land use by Specific Use Permit (SUP) for all properties within the district, being a 21.266-acre tract of land situated within the S. S. McCurry Survey, Abstract No. 146 and B. F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, generally located along N. Goliad Street [SH-205] north of Olive Street and south of Live Oak Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 16, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-045: Amendment to PD-50

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Cari Foote MA, LPC-S, LMFT-S, EMDR Certified
925 N. Goliad Street
Rockwall, TX 75087
Cfoote@professionalcounseling.us

September 13, 2023

925 N. Goliad Street Rockwall, TX 75087

Ryan Miller
Director of Planning, City of Rockwall
Rmiller@rockwall.com
385 South Goliad Rockwall, TX 75087

Mr. Miller,

Please consider amending P-50 to include General Personal Service use by Special Use Permit.

I'm making this request in order to fully utilize each room at my building located at 925 N. Goliad Street. Amending PD-50 will allow more business opportunities that will complement my existing tenants.

Thank you for your consideration.



Cari Foote

Signature Date: 9-18-23

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 50 (PD-50) [ORDINANCE NO. 17-19] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 50 (PD-50) TO ALLOW AN *GENERAL PERSONAL SERVICE* LAND USE TO BE PERMITTED BY A SPECIFIC USE PERMIT (SUP) WITHIN THE SUBJECT PROPERTY, BEING A 21.266-ACRE TRACT OF LAND SITUATED WITHIN THE S. S. McCURRY SURVEY, ABSTRACT NO. 146 AND B. F. BOYDSTON SURVEY, ABSTRACT NO. 14, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Cari Foote requesting the approval of an amendment to Planned Development District 50 (PD-50) [Ordinance No. 17-19] and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall for the purpose of amending the permitted land uses to allow for the addition of an *General Personal Service* land use to be permitted by a Specific Use Permit (SUP) within a 21.266-acre tract of land situated within the S. S. McCurry Survey, Abstract No. 146 and B. F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas, identified as Planned Development District 50 (PD-50), and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 50 (PD-50) [Ordinance No. 17-19] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 17-19*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That the *Subject Property* shall be developed and/or used only in the manner and for the purposes described in *Exhibit 'C'* of this ordinance, and unless specifically modified within this ordinance the *Subject Property* shall adhere to all development standards stipulated by the Residential Office (RO) District as specified in Subsection 04.02, *Residential-Office (RO) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future;

SECTION 4. That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [*Ordinance No. 04-38*] of any provision of the *City Code*, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [*Ordinance No. 04-38*] (*including references to the Unified Development Code*), and references to overlay districts, in this ordinance or any of the *Exhibits* hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF NOVEMBER, 2023.

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 16, 2023

2nd Reading: November 6, 2023

DRAFT
ORDINANCE
09.26.2023

EXHIBIT 'A':
Legal Description

BEGINNING at a point in the northwest corner of Block 32 of the Garner Addition (925 N. Goliad Street);

THENCE easterly 211.13' along the south right of way of Live Oak Street for a corner;

THENCE southerly 598.12' along the west right of way of Goliad Street (SH-205);

THENCE east 54.44' across Goliad Street, to the northwest corner of Block 160, Lot 1 of the Austin Addition (912 N. Goliad Street);

THENCE east 220' following the north property line of Block 160, Lot 1 of the Austin Addition (912 N. Goliad Street);

THENCE southerly 441.42' following the east property lines of lots fronting Goliad Street to a point on the north right of way of Heath Street;

THENCE west 39.54' along the north right of way of Heath Street;

THENCE southerly following along the east property lines of lots fronting Goliad Street 562.59' to a point being the northwest corner of B.F. Boydston Survey, Block 123, Lot F (604 N Goliad Street);

THENCE east 210.09' along the north property line of said Block 123, Lot F for a corner;

THENCE southerly 289.31' along the eastern property line of said Block 123, Lot F for a corner;

THENCE southerly 519.9' following along the east property lines of lots fronting Goliad Street to a point being the southeast corner of B.F. Boydston Survey, Block 123, Lot B (406 N. Goliad Street);

THENCE west 215.11' along the south property line of said Block 123, Lot B (406 N. Goliad Street) and crossing to a point on the west right of way of Goliad Street;

THENCE southerly 170.59' following along the west right of way of Goliad Street to a point being the southeast corner of Block 17, Lot 15 of the Amick Addition (401-403 N. Goliad Street);

THENCE west 210' along the south property line of said Block B, Lot 15 of the Amick Addition for a corner;

THENCE northerly 101.05' along the west property line of said Block 17, Lot 15 of the Amick Addition;

THENCE easterly 70.83' along the north property line of Block 17, Lot 15 of the Amick Addition;

THENCE north 170' along the west property lines of Block 18B, Lot 17 and Block 19C, Lot 21 of the Amick Addition;

THENCE west 72.99' along the south property line of Block 19B, Lot 19 of the Amick Addition (501½ N. Goliad Street);

EXHIBIT 'A':
Legal Description

THENCE northerly 51.75' along the west property line of Block 19B, Lot 19 of the Amick Addition (501½ N. Goliad Street);

THENCE easterly 97.01' along the north property line of Block 19B, Lot 19 of the Amick Addition (501½ N. Goliad Street);

THENCE northerly 754.05' following along the west property lines of lots fronting Goliad Street to a point in the south property line of Block 23A, Lot 34 of the Amick Addition (803 N. Goliad Street);

THENCE west 115.03' along the south property line of said Block 23A, Lot 34 of the Amick Addition;

THENCE northerly 139.55' along the east right of way of N. Alamo Street;

THENCE east 99.47' following along the north property line of Block 24C, Lot 37 of the Amick Addition (805. N. Goliad Street) to a point;

THENCE northerly 250.95' following along the west property lines of lots fronting N. Goliad Street and crossing to the north right of way of Heath Street for a corner;

THENCE west 70.51' along the north right of way of Heath Street for a corner;

THENCE northerly 205.32' along the east right of way of N. Alamo Street;

THENCE easterly 103.92' along the south property line of Lot 1 of the Williams Addition;

THENCE northerly 334.45' following along the west property line of lots fronting Goliad Street to a point on the south property line of Block 29 of the Garner Addition (915 N. Goliad Street);

THENCE west 85.69' along the south property line of Block 29 of the Garner Addition (915 N. Goliad Street) to the east right of way of Alamo Street;

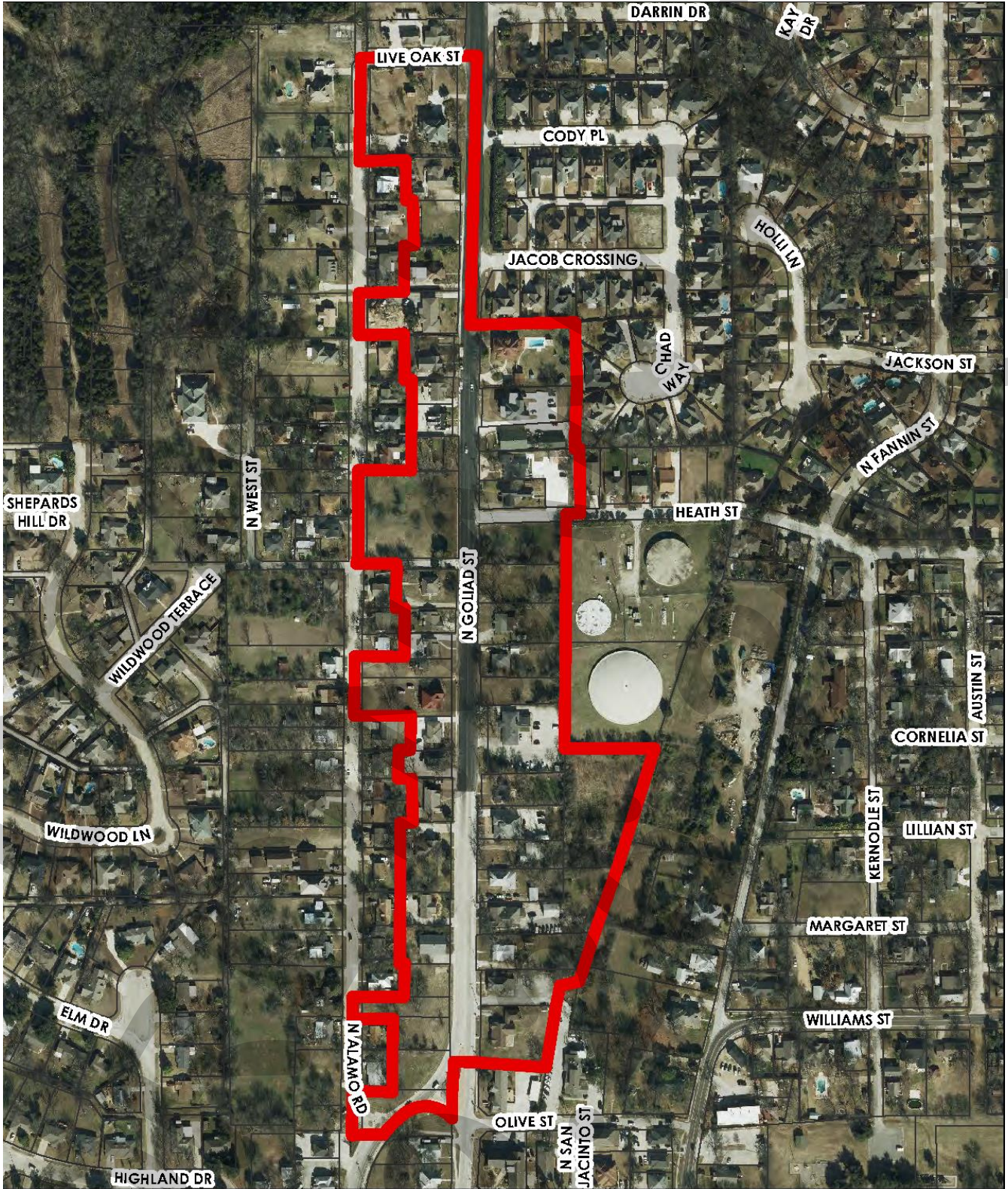
THENCE northerly 98.02' along the east right of way of Alamo Street for a point;

THENCE easterly 85.08' along the north property line of Block 29 of the Garner Addition (915 N. Goliad Street);

THENCE northerly 345.36' following along the west property line of lots fronting Goliad Street to a point in the south right-of-way of Block 32 of the Garner Addition (925 N. Goliad Street);

THENCE northerly 218.51' following along the east right of way of Alamo Street to the **POINT OF BEGINNING** containing approximately 21.266-acres of land.

EXHIBIT 'B':
Location Map



**City of
Rockwall**



0 500
Feet
Date: 12/22/2015
GEOGRAPHIC INFORMATION SYSTEMS

PD50

EXHIBIT 'C':
District Development Standards

Development Standards.

- 1) *Permitted Uses.* Unless specifically provided by this Planned Development District ordinance, only those land uses permitted within the Residential Office (RO) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*], are allowed on the *Subject Property*; however, the following additions and conditions shall apply:
 - (a) *Antique/Collectable Sales.* The retail sales of antiques and collectables shall be permitted through the approval of a Specific Use Permit (SUP) by the City Council; however, such use shall be subject to the following conditions:
 - i. *Antique Sales* is defined as the sale of an object having value because of its age, especially a domestic item or piece of furniture or handicraft esteemed for its artistry, beauty, craftsmanship, or period of origin.
 - ii. *Collectable Sales* is defined as the sale of an object that can be collected, or is suitable or desirable for collecting by hobbyist, or any of a class of old things (*but not antiques*) that people collect as a hobby.
 - iii. The sale of new or used clothing and appliances shall be prohibited.
 - iv. The maximum floor area permitted for *Antique/Collectable Sales* be limited to 2,000 square feet.
 - v. That individual lease areas within the *Antique/Collectable Sales* use be prohibited.
 - (b) *Banquet Facility (Event Venue).* A banquet facility or event venue shall be permitted through the approval of a Specific Use Permit (SUP) by the City Council; however, such use shall be subject to the following conditions:
 - i. *Banquet Facility* or *Event Venue* is defined as a commercial facility that can be rented out for the purpose of hosting private events (*e.g. birthday parties, wedding receptions, meetings, etc.*). These events shall not be open to the general public.
 - (c) *Animal Clinic for Small Animals.* An animal clinic for small animals shall be permitted through the approval of a Specific Use Permit (SUP) by the City Council; however, such use shall be subject to the following conditions.
 - i. An *Animal Clinic for Small Animals* is defined as a place where animals or pets are given medical or surgical treatments and care.
 - ii. The accessory use as a kennel shall be limited to short-term boarding and shall be only incidental to the *Animal Clinic for Small Animals* use.
 - iii. No outdoor pens or kennels shall be permitted.

EXHIBIT 'C':

District Development Standards

- (d) *General Personal Service*. A general personal service shall be as defined in Article 13, *Definitions*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] and be permitted through the approval of a Specific Use Permit (SUP) on a case-by-case basis by the City Council.
- 2) *Cross Access Easements*. Joint or shared access shall be required on all adjoining lots if any property is used for office development or any other non-residential use permitted by this ordinance.
- 3) *Parking*. That all non-residential land uses shall adhere to the following parking requirements:
- (a) All parking shall be located behind the front façade of the primary structure and parking within the front yard of any property shall be prohibited.
- (b) The parking requirements for all uses shall be subject to the requirements stipulated by Article VI, *Parking and Loading*, of the Unified Development Code [*Ordinance No. 04-38*] with the exception of *Professional Offices (excluding medical offices)* and *Banquet Facilities*. *Professional Offices* shall be subject to one (1) parking space per 500 SF of floor area and *Banquet Facilities* shall be subject to one (1) parking space per 100 SF of floor area.
- (c) All drive aisles and parking areas required for the conversion and/or redevelopment of existing structures within the Planned Development District shall be paved in concrete. An exception for asphalt may be approved by the City Engineer.
- 4) *Site Plan*. All properties within the Planned Development District shall be subject to site plan review prior to changing the use from single-family residential.
- 5) *Variances*. In the event that unique or extraordinary conditions exist on the property such that the applicant cannot comply with the strict interpretation of this ordinance a variance can be requested from the City Council.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2023

PROJECT NUMBER: Z2023-046
PROJECT NAME: SUP for Residential Infill at 715 Sherman Street
SITE ADDRESS/LOCATIONS: 715 SHERMAN ST

CASE CAPTION: Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes, LLC on behalf of Ruben Fragoso of RSR Capital, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.22-acre parcel of land identified as Lot C, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 715 Sherman Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/19/2023	Approved w/ Comments

09/19/2023: General Items:

- Must meet City 2023 Standards of Design and Construction
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Show existing floodplain and 100yr water elevation.
- No structures or fill may be placed within the floodplain without a study and approval by the City.
- Proposed driveway must be concrete.
- Additional comments may come with more detailed plans.

Water and Wastewater Items:

- Show existing/proposed utility lines (Water, Sewer, etc.)
- Water and sewer are on the other side of Sherman

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/21/2023	Approved w/ Comments

09/21/2023: SETBACKS FOR SF-7 AS FOLLOWS

FRONT = 20'
SIDES = 6 '
REAR = 10'

NO CONSTRUCTION IN FLOODPLAIN ALLOWED

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/18/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/18/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Angelica Guevara	09/22/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	09/19/2023	Approved w/ Comments

09/19/2023: Z2023-046; Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for 715 Sherman Street
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to Established Subdivision for the purpose of constructing a single-family home on a 0.22-acre parcel of land identified as Lot C, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 715 Sherman Street.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2023-046) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is the situated within the B. F. Boydston Addition and situated within 500-feet of the Ridgell and Robbins Additions. All of these subdivisions have been in existence for more than ten (10) years, consist of more than five (5) lots, and are considered to be more than 90% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage is setback approximately 11 ½ feet from the front façade of the home. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

I.7 In this case, the proposed request appears to meet most of the requirements for Residential Infill Adjacent to an Established Subdivision, the zoning requirements for a property in a Single-Family 7 (SF-7) District, and the requirements for the Southside Residential Neighborhood Overlay (SRO) District.

M.8 Please review the attached Draft Ordinance prior to the September 26, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by

no later than October 3, 2023.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 10, 2023, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 26, 2023.

I.10 The projected City Council meeting dates for this case will be October 16, 2023 (1st Reading) and November 6, 2023 (2nd Reading).

General Items:

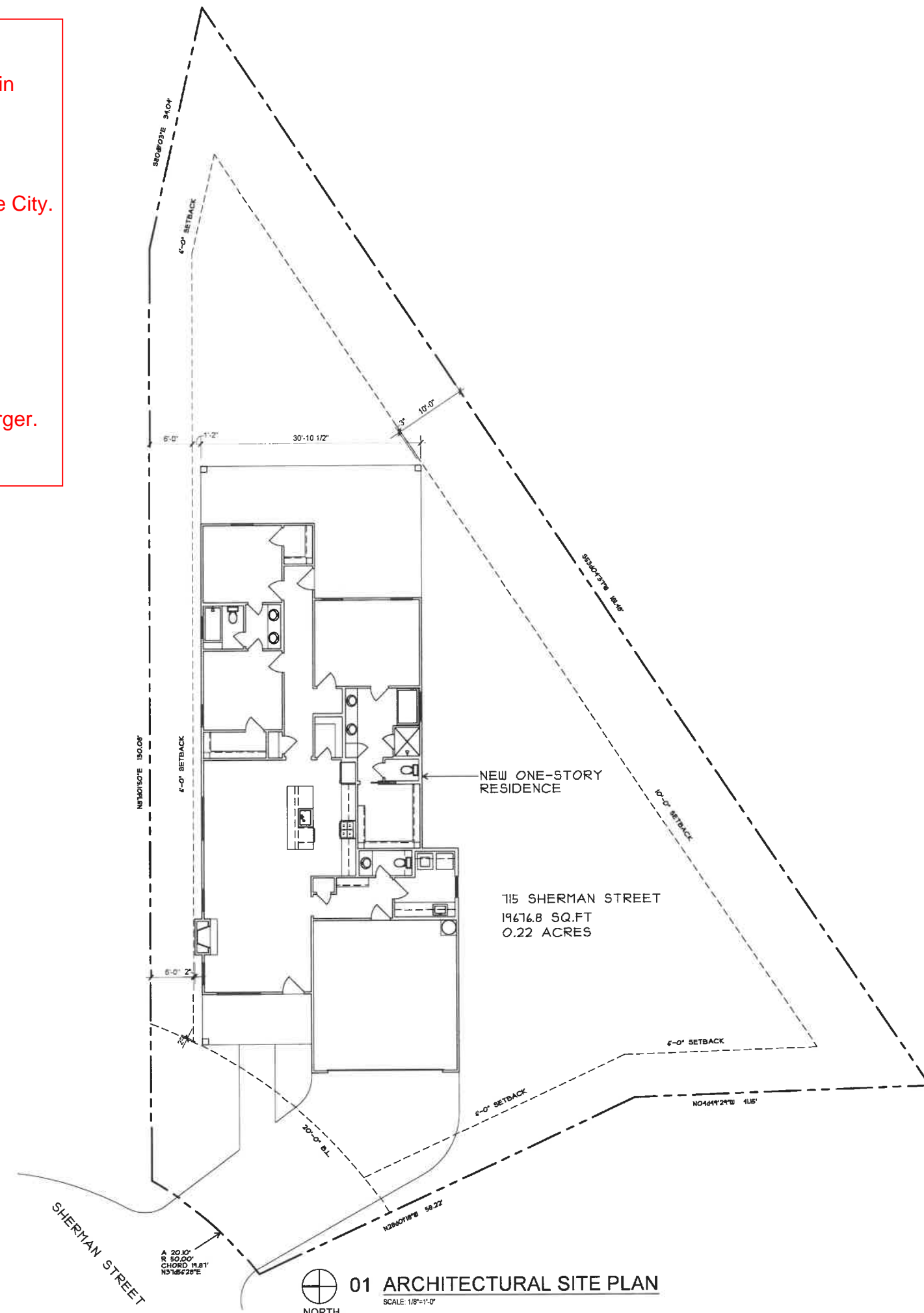
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- Show existing/proposed utility lines (Water, Sewer, etc.)
- Water and sewer are on the other side of Sherman

Landscaping:

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- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



NEW ONE STORY RESIDENCE
 715 SHERMAN ST.
 ROCKWALL TEXAS 75087
 JMS CUSTOM HOMES

ISSUE LOG

DATE	DESCRIPTION
09/06/23	FOR PERMIT

REVISION LOG

DATE	DESCRIPTION	REV. NO.

ISSUED FOR:

- PRELIMINARY -
- BIDDING / PERMIT
- REVISION
- FOR CONSTRUCTION



CONTRACTOR: JAVIER SILVA
 support@jmscustomhomes.net
 972-814-8462
 DESIGNER: PATRA PHILIPS
 patra@fanningphilips.com
 214-254-8724

ARCH. PROJ. #: 23067 SCALE: REF. DRAWING

SHEET NO.

A2.1
 ARCHITECTURAL SITE PLAN

01 ARCHITECTURAL SITE PLAN
 SCALE: 1/8"=1'-0"



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____
CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 715 Sherman ST Rockwall TX 75087
 SUBDIVISION B F BOYDSTON LOT C BLOCK 112
 GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SF-7 CURRENT USE _____
 PROPOSED ZONING SF-7 PROPOSED USE Residential Infill
 ACREAGE .22 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER <u>MSH Capital LLC</u>	<input checked="" type="checkbox"/> APPLICANT <u>JMS Custom Homes LLC</u>
CONTACT PERSON <u>Ruben Fragoso</u>	CONTACT PERSON <u>Javier Silva</u>
ADDRESS <u>1321 Crescent Cove Dr.</u>	ADDRESS <u>58 Windsor Dr.</u>
CITY, STATE & ZIP <u>Rockwall, TX 75087</u>	CITY, STATE & ZIP <u>Rockwall, TX 75032</u>
PHONE <u>214-471-2302</u>	PHONE <u>972-814-9462</u>
E-MAIL <u>Ruben.fragoso@gmail.com</u>	E-MAIL <u>support@jmscustomhomes.net</u>

NOTARY VERIFICATION [REQUIRED]

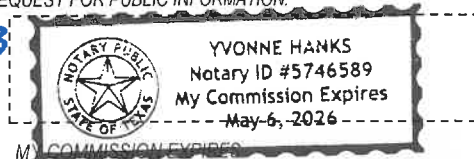
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ruben Fragoso [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8 DAY OF September 2003

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2023-046: Specific Use Permit (SUP) for Residential Infill at 715 Sherman Street


0 15 30 60 90 120 Feet

SHERMAN ST

SF-7

PD-52

SOLARK ST

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

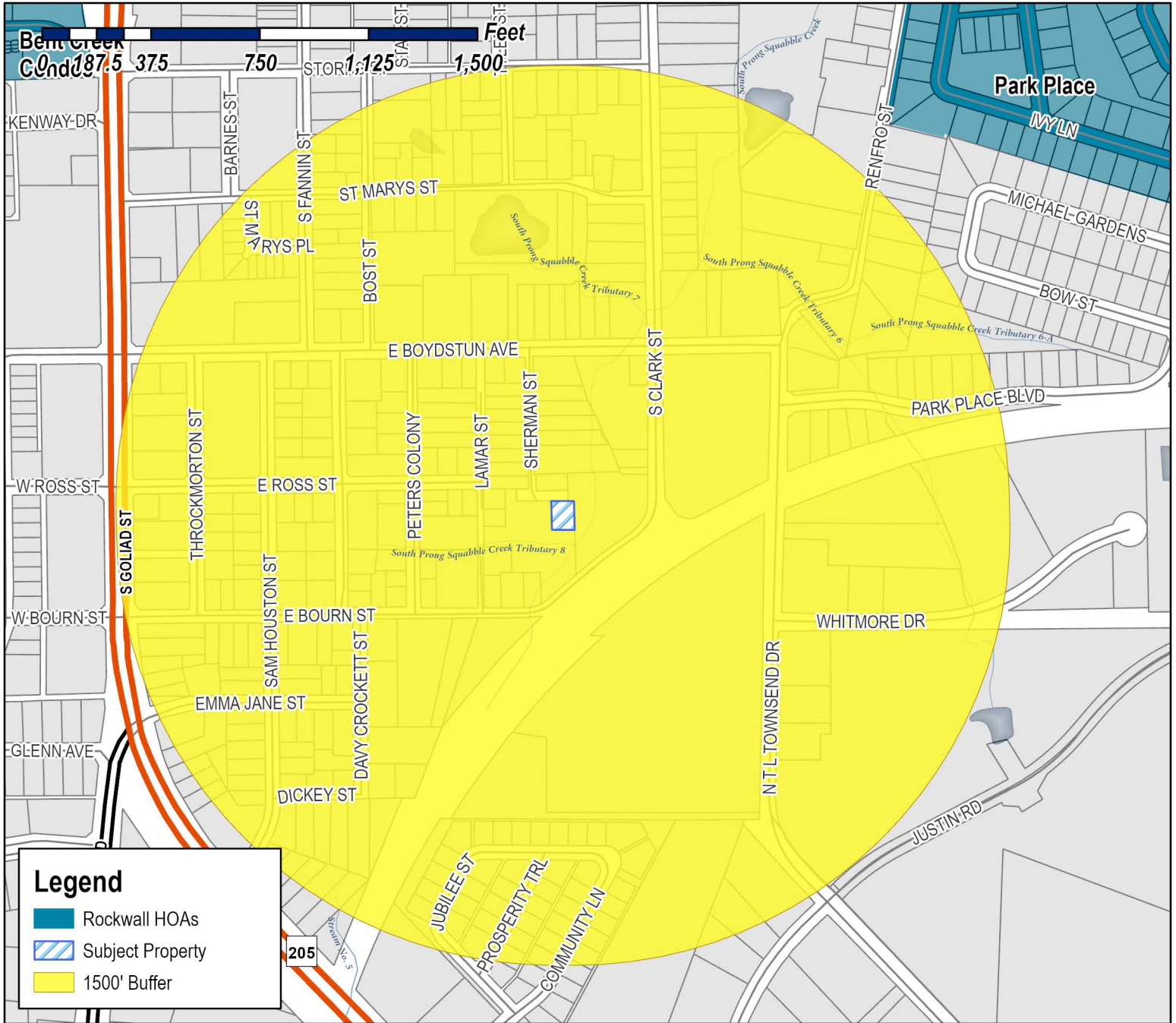




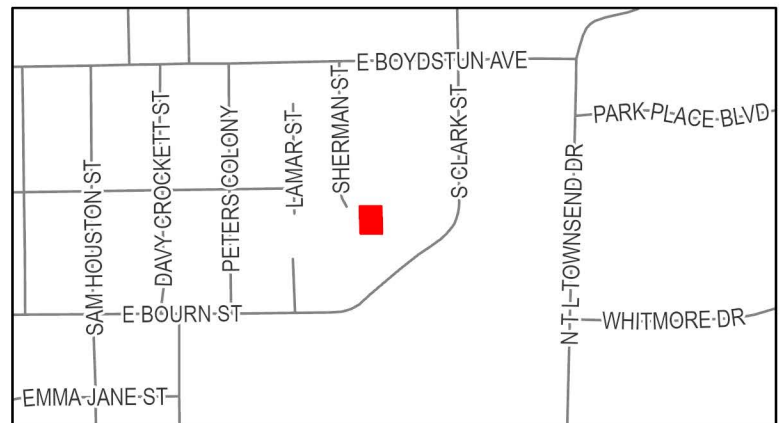
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Case Number: Z2023-046
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 715 Sherman Street



Date Saved: 9/15/2023

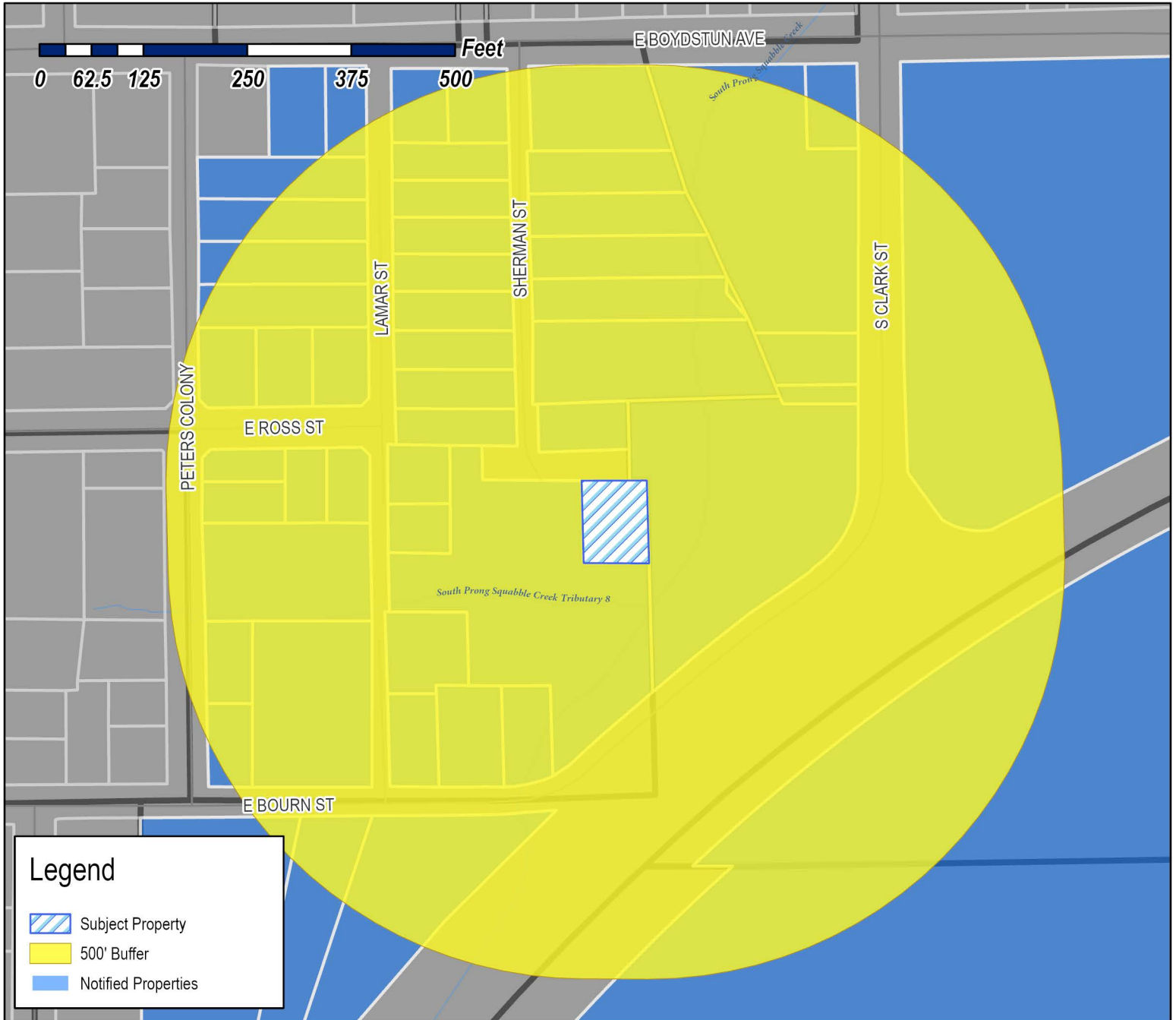
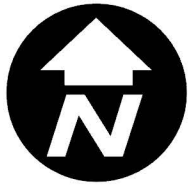
For Questions on this Case Call (972) 771-7745



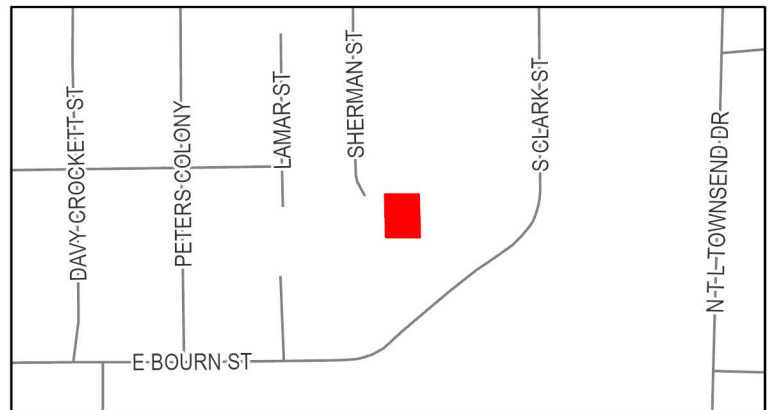
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Case Number: Z2023-046
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 715 Sherman Street



Date Saved: 9/15/2023

For Questions on this Case Call: (972) 771-7746

ROCKWALL COUNTY
C/O COUNTY TREASURER
101 E RUSK ST SUITE 101
ROCKWALL, TX 75087

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

STRANGE EMERSON JR
1521 NOVEL CT
GARLAND, TX 75040

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
2521 LOUDON ST W
ROCKWALL, TX 75032

OFF MARKET LLC
DBA BIG STATE HOME BUYERS
2800 N LOOP WEST #925
HOUSTON, TX 77092

ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

PIEDRA ANGULAR AG A CORP
418 E BOURN ST
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

RESIDENT
501 E BOURN AVE
ROCKWALL, TX 75087

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
505 E BOURN ST
ROCKWALL, TX 75087

SHERWIN CAROLYN MARIE
509 E BOURN STREET
ROCKWALL, TX 75087

SILVA JAVIER AND
BERNARDO LAWRENCE
58 WINDSOR DRIVE
FATE, TX 75474

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

RESIDENT
604 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
604 S ROSS
ROCKWALL, TX 75087

KRONLAGE HOLLIE
605 E ROSS STREET
ROCKWALL, TX 75087

RESIDENT
606 ROSS
ROCKWALL, TX 75087

GAMEZ DAVID & PETRA
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
608 E BOYDSTUN AVE
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
% DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

KAUFMANN DOUGLAS A
627 SORITA CIRCLE
HEATH, TX 75032

TALARICO CHRISTOPHER AND JUSTIN
633 STILLMEADOW DR
RICHARDSON, TX 75081

RESIDENT
702 S CLARK ST
ROCKWALL, TX 75087

EBY JENNIFER
703 PETERS COLONY
ROCKWALL, TX 75087

ROSS LESLIE
703 SHERMAN ST
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN
ROCKWALL, TX 75087

ANDUJAR AMY ELIZABETH MAYER
705 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
706 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
706 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
707 S CLARK
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

COCHRAN SANDRA AND JOE
708 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
709 N SHERMAN ST
ROCKWALL, TX 75087

HEJI PAUL M
709 PETERS COLONY
ROCKWALL, TX 75087

SMITH PAMELA K
709 SHERMAN STREET
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
711 LAMAR
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
712 CLARK ST
ROCKWALL, TX 75087

RESIDENT
712 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
713 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
715 SHERMAN ST
ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
716 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
725 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
950 TOWNSEND RD
ROCKWALL, TX 75087

HILLMAN HOUSING LLC
9706 HEARTSTONE LANE
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-046: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes, LLC on behalf of Ruben Fragoso of RSR Capital, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.22-acre parcel of land identified as Lot C, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 715 Sherman Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 16, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-046: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area for comments]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



FRONT ELEVATION
NEW RESIDENCE

715 SHERMAN ST.
 ROCKWALL TX

SHEET INDEX		REV	DATE
A-1.0	COVER SHEET		
A-2.1	ARCHITECTURAL SITE PLAN		
A-3.1	NOTES, DETAILS, SCHEDULES		
A-3.2	FLOOR & ROOF PLANS		
A-5.1	ELEVATIONS		
A-6.1	POWER PLAN		

NEW ONE
 STORY
 RESIDENCE

715 SHERMAN
 ST.
 ROCKWALL
 TEXAS
 75087

JMS CUSTOM
 HOMES

ISSUE LOG

DATE	DESCRIPTION
09/08/23	FOR PERMIT

REVISION LOG

DATE	DESCRIPTION	REV. NO.

ISSUED FOR:

PRELIMINARY -

BIDDING / PERMIT

REVISION

FOR CONSTRUCTION



CONTRACTOR: JAVIER SILVA
 support@jmscustomhomes.net
 972-616-9452

DESIGNER: PATRA PHILIPS
 patra@fanningphilips.com
 214-264-9724

ARCH. PROJ. #: 23097 SCALE: REF. DRAWING

SHEET NO.
A1.0
 COVER SHEET

NEW ONE
STORY
RESIDENCE

715 SHERMAN
ST.
ROCKWALL
TEXAS
75087

JMS CUSTOM
HOMES

ISSUE LOG

DATE	DESCRIPTION	ISSUE
09/08/23	FOR PERMIT	

REVISION LOG

DATE	DESCRIPTION	REV NO.
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ISSUED FOR:

- PRELIMINARY -
- BIDDING / PERMIT
- REVISION
- FOR CONSTRUCTION



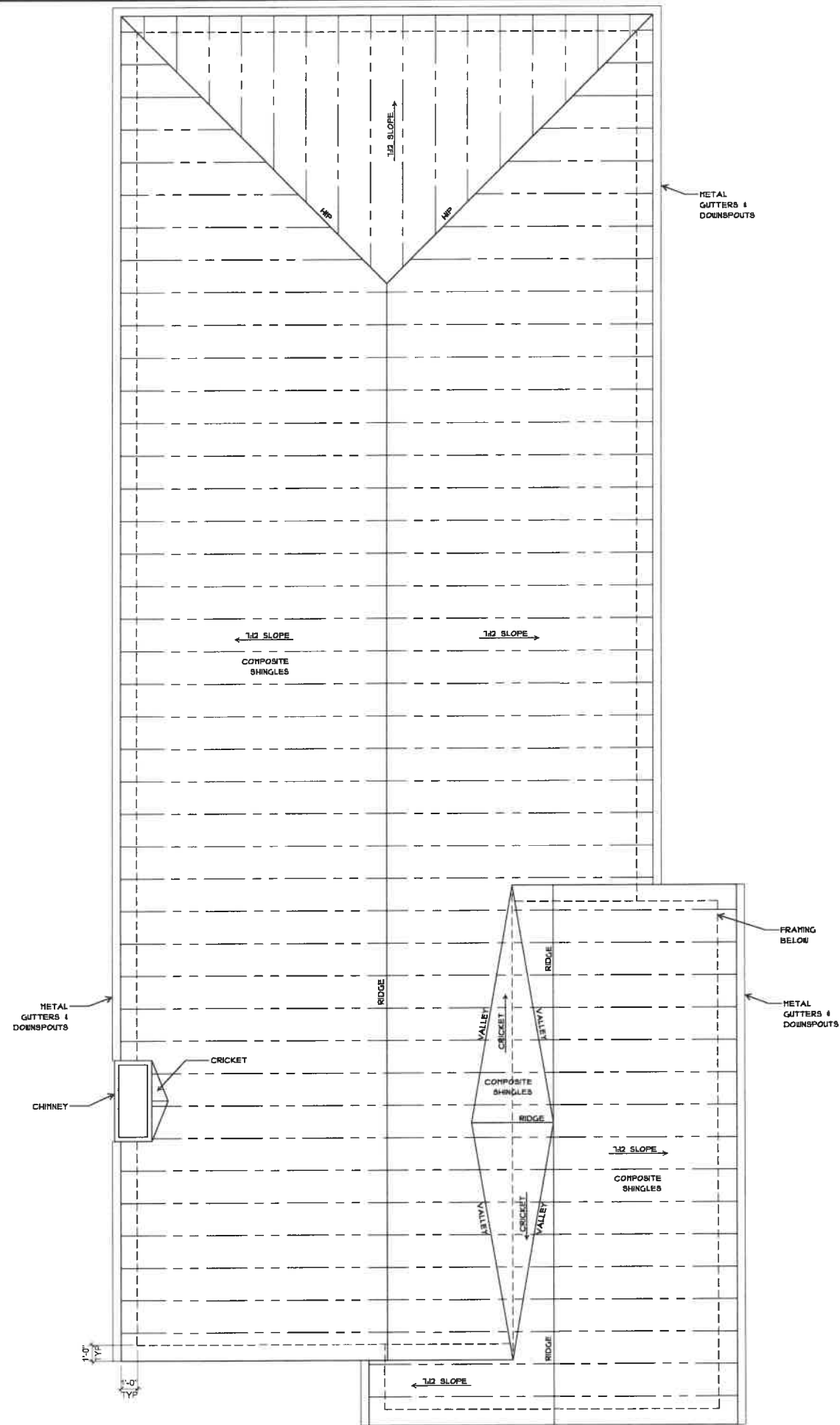
CONTRACTOR: JAVIER SILVA
support@jmscustomhomes.net
572-514-8462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-1724

ARCH. PROJ. #	SCALE
23087	REF DRAWING

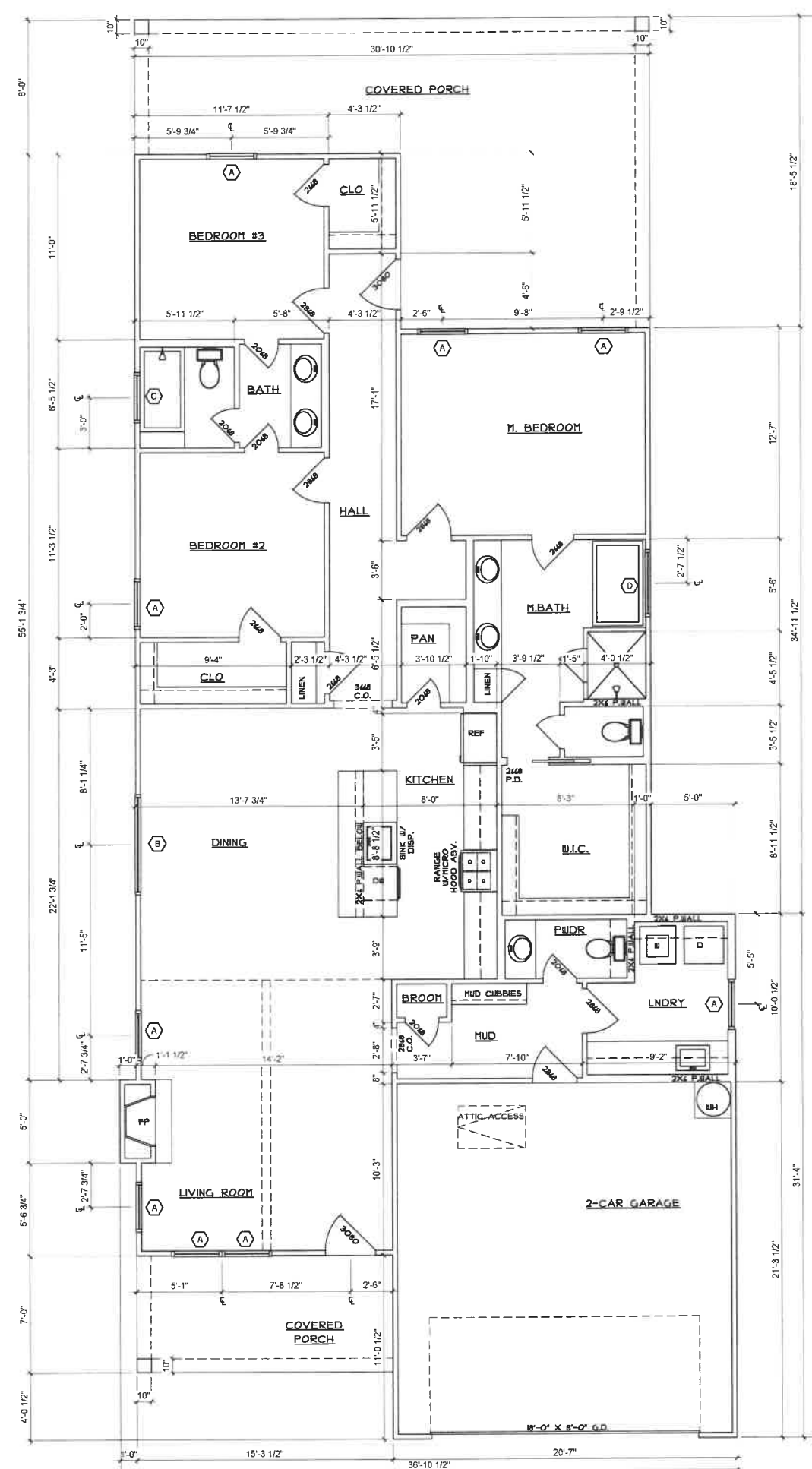
SHEET NO.

A3.2

FLOOR & ROOF PLAN



02 ROOF PLAN
SCALE: 1/4"=1'-0"



01 FLOOR PLAN
SCALE: 1/4"=1'-0"



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-046

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
704 Sherman Street	Single-Family Home	1980	980	N/A	Siding
705 Sherman Street	Single-Family Home	1994	1,350	117	Brick and Siding
706 Sherman Street	Single-Family Home	2020	2,538	N/A	Siding
707 Sherman Street	Single-Family Home	2007	1,494	N/A	Brick and Siding
708 Sherman Street	Single-Family Home	1974	1,400	480	Siding
709 Sherman Street	Single-Family Home	2007	1,494	40	Brick and Siding
710 Sherman Street	Single-Family Home	1994	1,200	N/A	Siding
711 Sherman Street	Single-Family Home	1982	2,942	N/A	Siding
712 Sherman Street	Vacant	N/A	N/A	N/A	N/A
713 Sherman Street	Single-Family Home	1990	1,896	N/A	Brick
715 Sherman Street	Vacant	N/A	N/A	N/A	N/A
716 Sherman Street	Vacant	N/A	N/A	N/A	N/A
AVERAGES:		1994	1,699	212	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-046

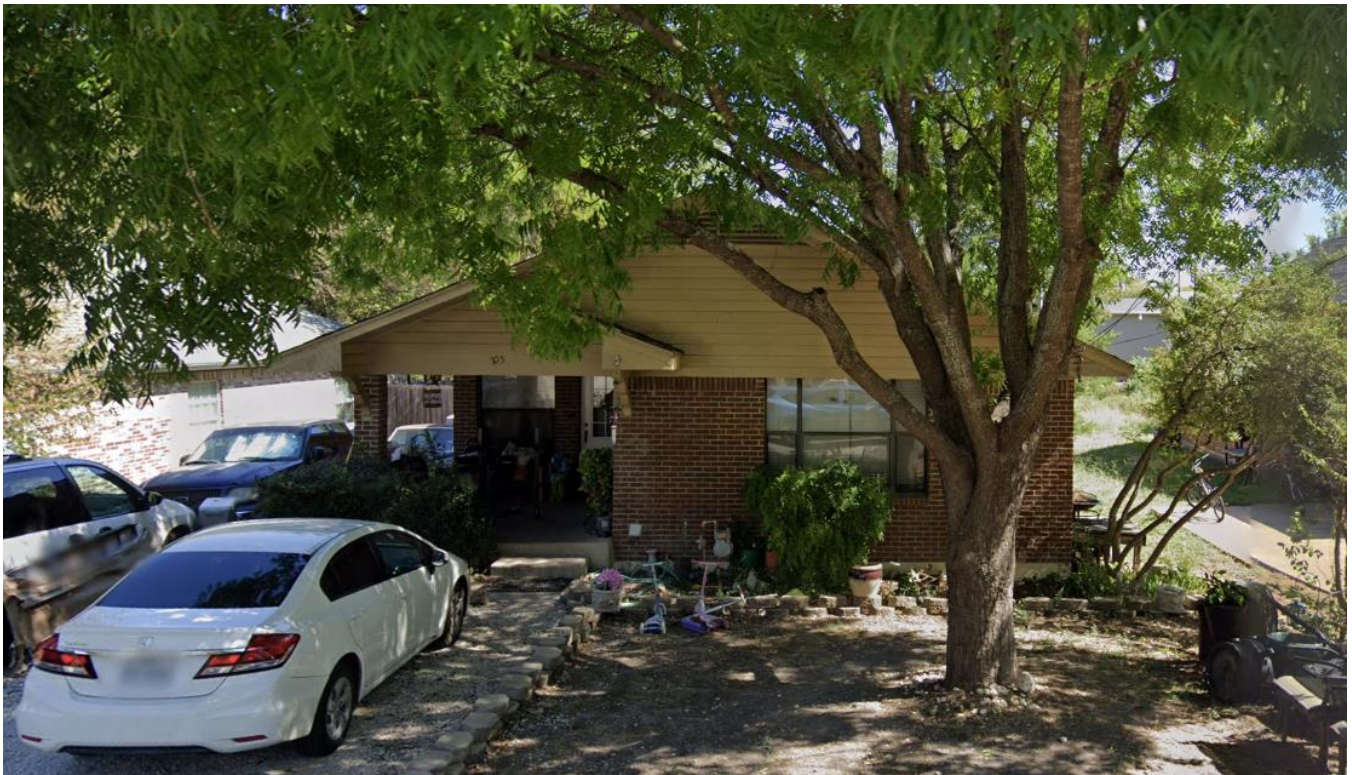
PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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704 Sherman Street



705 Sherman Street



CITY OF ROCKWALL

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706 Sherman Street



707 Sherman Street



CITY OF ROCKWALL

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708 Sherman Street



709 Sherman Street



CITY OF ROCKWALL

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710 Sherman Street



711 Sherman Street



CITY OF ROCKWALL

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712 Sherman Street



713 Sherman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-046

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



715 Sherman Street



716 Sherman Street

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.22-ACRE PARCEL OF LAND, IDENTIFIED AS LOT C, BLOCK 112, B.F. BOYDSTUN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Javier Silva of JMS Custom Homes, LLC for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 0.22-acre parcel of land identified as Lot C, Block 112, B.F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 715 Sherman Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a single-family home adjacent to an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6th DAY OF NOVEMBER, 2023.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: October 16, 2023

2nd Reading: November 6, 2023

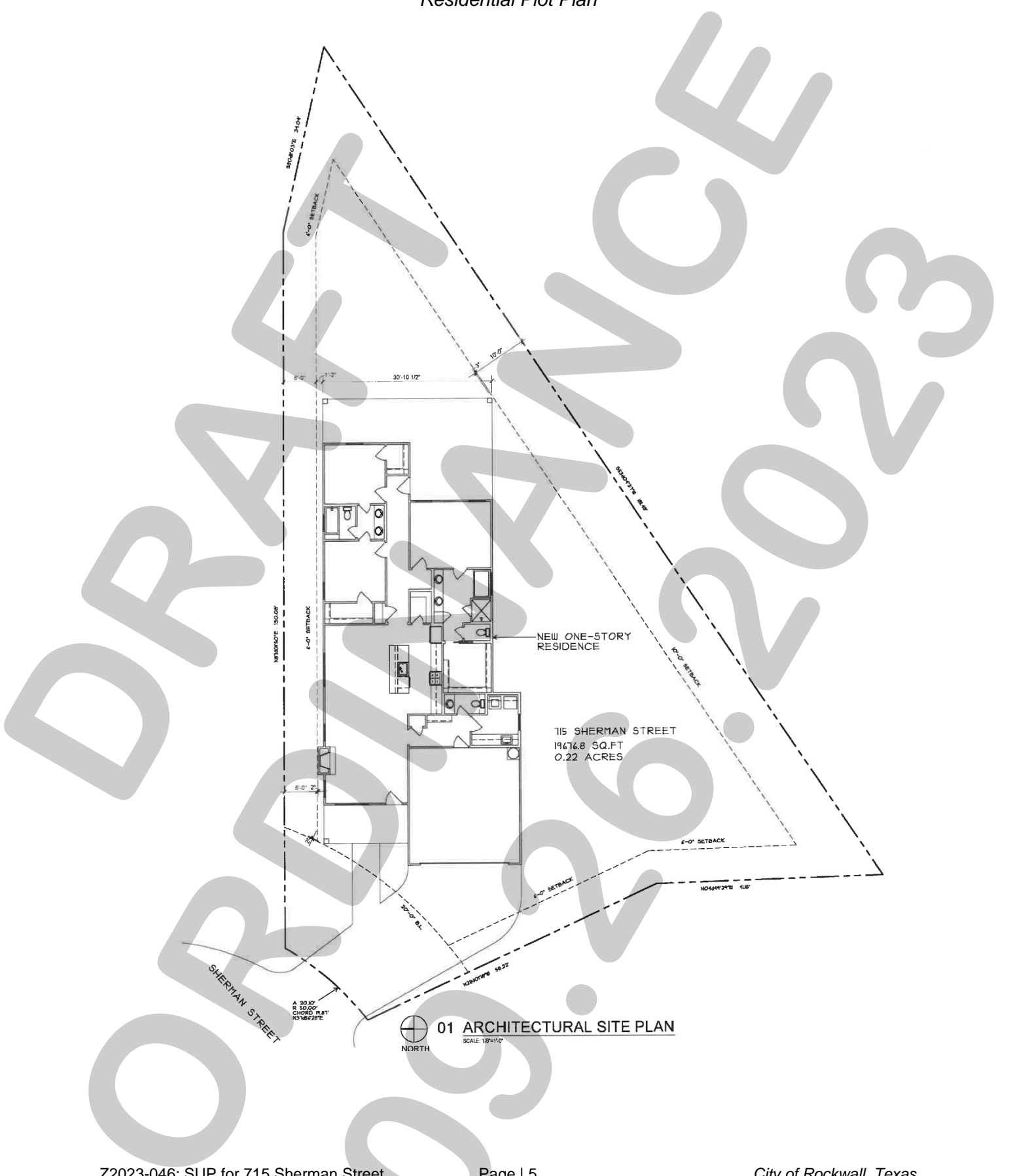
**Exhibit 'A':
Location Map**

Address: 715 Sherman Street

Legal Description: Lot C, Block 112, B.F. Boydston Addition



Exhibit 'B':
Residential Plot Plan



SHERMAN STREET

NEW ONE-STORY
 RESIDENCE

115 SHERMAN STREET
 1967.6 SQ.FT
 0.22 ACRES



01 ARCHITECTURAL SITE PLAN

SCALE: 1/8"=1'-0"

**Exhibit 'C':
Building Elevations**



Exhibit 'C':
Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2023

PROJECT NUMBER: Z2023-047
PROJECT NAME: SUP for 1400 Ridge Road
SITE ADDRESS/LOCATIONS: 1400 RIDGE RD

CASE CAPTION: Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	09/21/2023	Needs Review

09/21/2023: Z2023-047; Specific Use Permit (SUP) for a Pickleball Court at 1400 Ridge Road
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2023-047) in the lower right-hand corner of all pages on future submittals.

I.4 The subject property is zoned Single Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District.

I.5 According to Subsection 02.02.B.21, A Private Tennis Court is defined as "(a) surface designed and constructed for playing the game of tennis along with all fencing, nets and related appurtenances but excluding lighting for night play in residential areas except as may be otherwise permitted."

M.6 Is any lighting proposed for the Pickleball court? If so, provide a photometric plan and lighting cutsheets. All lighting shall be focused downward and no lighting shall spill over onto an adjacent property.

I.7 According to the Land Use Charts of the Unified Development Code (UDC), a Private Tennis Court is permitted by Specific Use Permit (SUP).

M.8 Please review the attached Draft Ordinance prior to the September 26, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than October 3, 2023.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 10, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session

Meeting for this case will be held on September 26, 2023.

I.10 The projected City Council meeting dates for this case will be October 16, 2023 [1st Reading] and November 6, 2023 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/19/2023	Approved w/ Comments

09/19/2023: General Items:

- Must meet City 2023 Standards of Design and Construction
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Additional comments may come with more detailed plans.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/21/2023	Needs Review

09/21/2023: * WILL THE PICKLEBALL COURT HAVE A COVER OVER IT?

* IF SO, THE STRUCUTRE SHALL COMPLY WITH THE 2021 INTERNATIONAL CODES FOR WIND LOAD AND SHALL COMPLY WITH ALL BUILDING SETBACKS

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2023	Needs Review

09/20/2023: Approved fire apparatus access roads shall extend to within 150 feet of all portions of the exterior walls of the first story of the building, as measured by an approved route around the exterior of the building or facility.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/18/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/18/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Bethany Ross	09/21/2023	N/A

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1400 Ridge Rd, Rockwall TX, 75087

Subdivision

Lot

Block

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

- SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

Rafael Hidalgo

Applicant

NEXCOURT, INC

Contact Person

Contact Person

JEFF WOLF

Address

1400 Ridge Rd
Rockwall TX 75087

Address

1127 S. AIRPORT CIRCLE

City, State & Zip

Phone

49 966 9281

City, State & Zip

Phone

EVLESS, TX 76040

682-556-2187

E-Mail

aa.weaver93@gmail.com

E-Mail

jeff.wolf@nexcourt.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared RAFAEL BLAZO HIDALGO [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 14th day of SEP, 2023. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

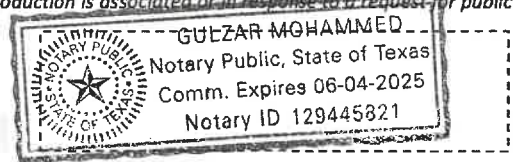
Given under my hand and seal of office on this the 14th day of SEP, 2023.

Owner's Signature

[Signature]

Notary Public in and for the State of Texas

[Signature]



My Commission Expires 06/04/2025



Z2023-047: Specific Use Permit (SUP) for 1400 Ridge Road

0 30 60 120 180 240 Feet

S ALAMO RD

SF-10

RIDGE RD
740

PD-1

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

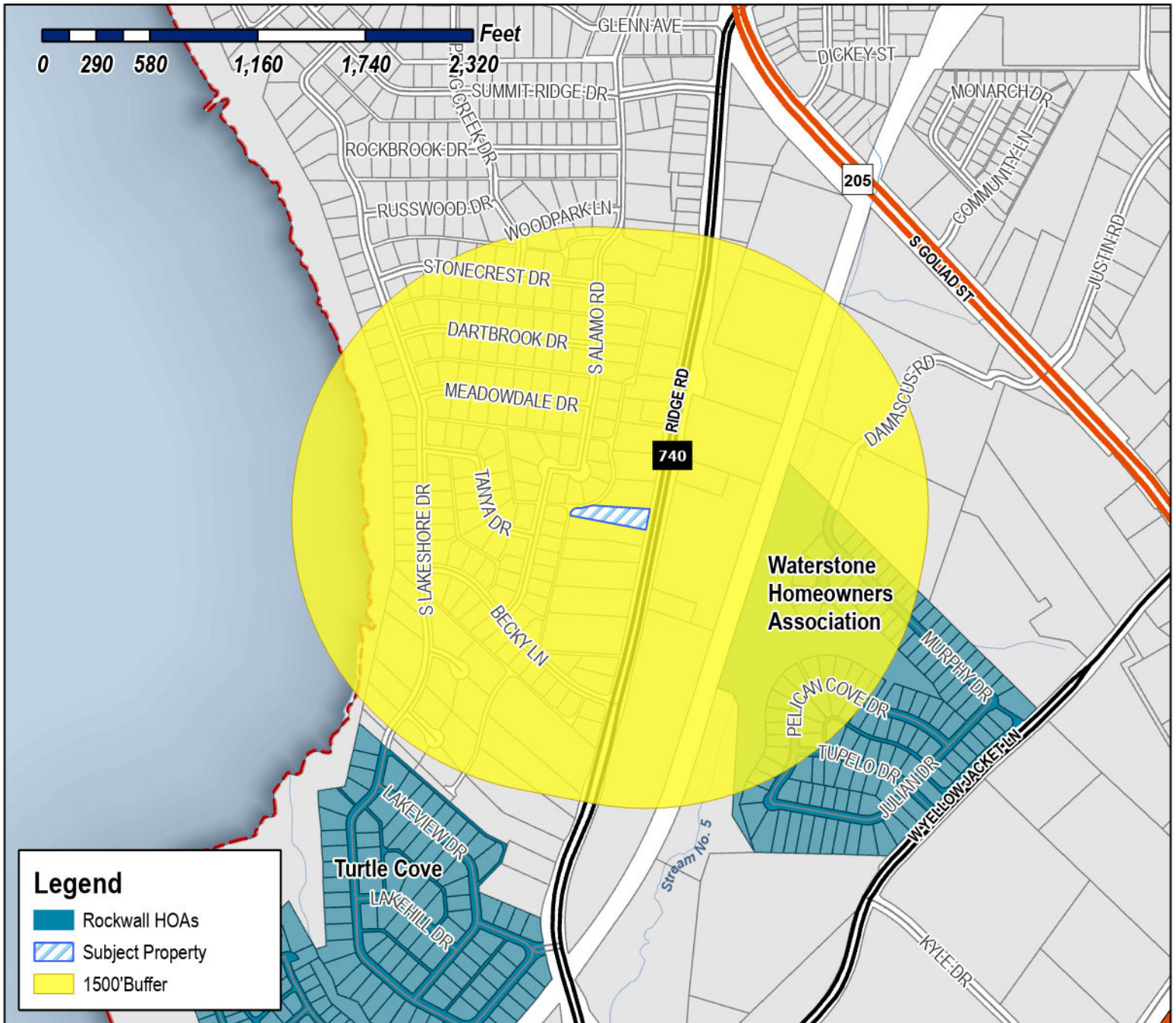




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Case Number: Z2023-047
Case Name: SUP for 1400 Ridge Road
Case Type: Zoning
Zoning: Single-Family 10 (SF-10)
Case Address: 1400 Ridge Road

Date Saved: 9/15/2023
 For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Zavala, Melanie
Sent: Friday, September 22, 2023 10:32 AM
Cc: Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry
Subject: Neighborhood Notification Program [Z2023-047]
Attachments: Public Notice (P&Z) (09.18.2023).pdf; HOA Map (09.19.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *September 22, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, October 10, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, October 16, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-047: SUP for Private Tennis Court

Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a *Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts)* on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.

Thank You,

Melanie Zavala

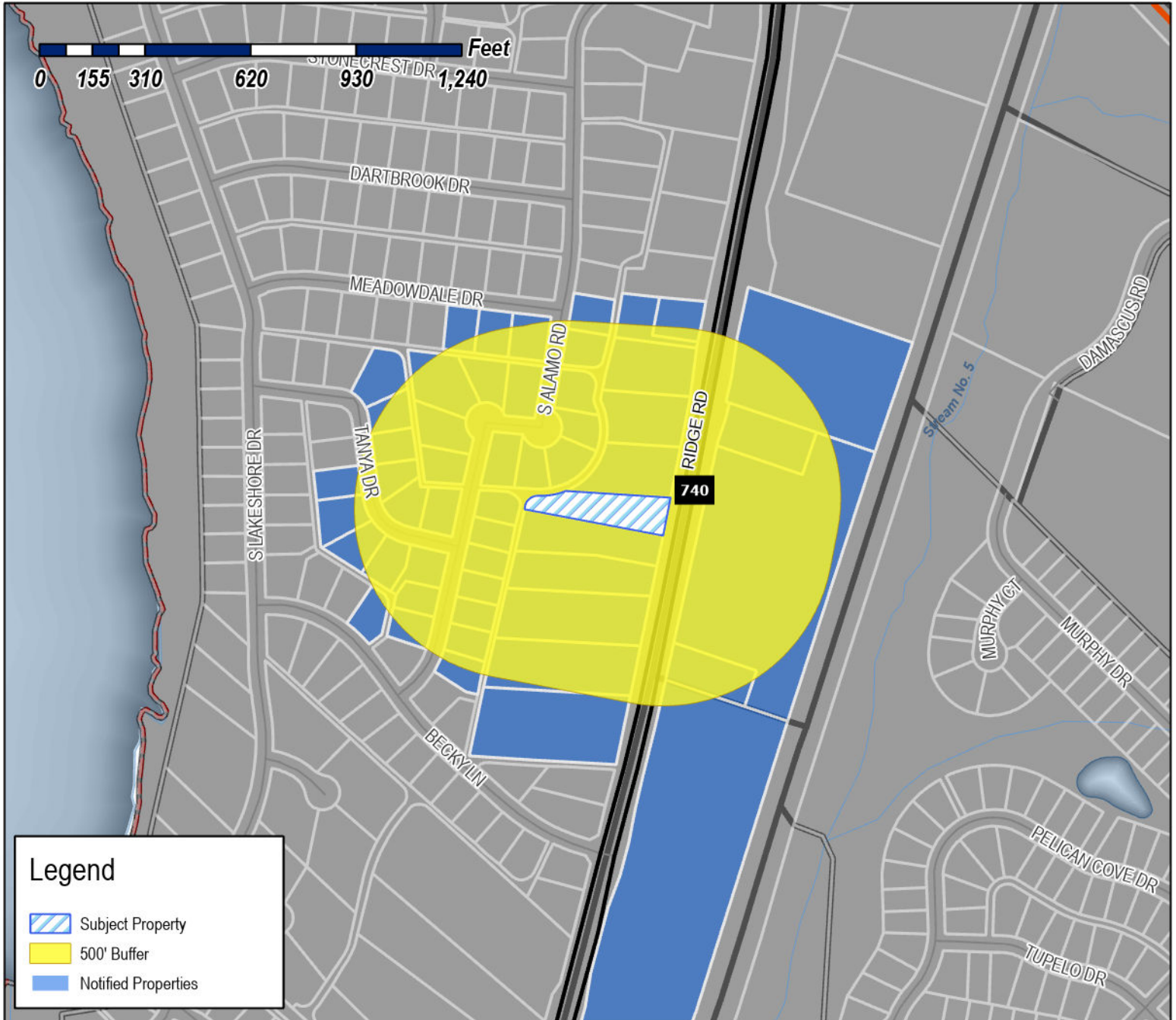
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-047
Case Name: SUP for 1400 Ridge Road
Case Type: Zoning
Zoning: Single-Family 10 (SF-10)
Case Address: 1400 Ridge Road

Date Saved: 9/15/2023

For Questions on this Case Call: (972) 771-7746



HFS MANAGEMENT INC
C/O HANNA SAHLIYEH
122 W JOHN CARPENTER FWY STE 400
IRVING, TX 75039

RESIDENT
1301 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1306 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1308 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1309 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1309 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1312 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1316 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1400 RIDGE RD
ROCKWALL, TX 75087

MASON RONALD E & GLORIA M
1402 RIDGE RD
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST
MICHAEL WAYNE ROGERS AND RELLA
VILLASANA ROGERS, TRUSTEES
1404 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1405 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1406 RIDGE RD
ROCKWALL, TX 75087

NORMAN LINDA
1406-B RIDGE RD
ROCKWALL, TX 75087

PADILLA OSCAR GAMALIEL AND MELISSA
AZUSENA
1408 RIDGE ROAD
ROCKWALL, TX 75087

ARCINIEGA MARK K
1423 S ALAMO ROAD
ROCKWALL, TX 75087

PINNELL LIVING TRUST
CHARLES CRAIG PINNELL AND CATHY JENELL
PINNELL
1425 S ALAMO RD
ROCKWALL, TX 75087

HAIRE HELENA GAIL
1425 SAW RD
CHINA GROVE, NC 28023

RESIDENT
1505 S ALAMO RD
ROCKWALL, TX 75087

GREEN KRIS
1507 S ALAMO RD
ROCKWALL, TX 75087

HERBST LONNIE & AMY
1509 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
1510 S ALAMO RD
ROCKWALL, TX 75087

BARRETT HOWARD & MARVALEE
1511 S ALAMO RD
ROCKWALL, TX 75087

SCROGGS JUSTIN D
1512 S ALAMO RD
ROCKWALL, TX 75087

BALLI DAVID OMAR AND EMILY FARRIS
1514 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
1515 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
1516 S ALAMO RD
ROCKWALL, TX 75087

GREEN TARA D AND
JULIA R MCKINNEY
1518 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

WEDDLE TRUST
JOHN C WEDDLE AND PAULETTE S WEDDLE
TRUSTEES
1601 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
1603 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
1605 ALAMO RD
ROCKWALL, TX 75087

BATTEN NANCY L
1606 S ALAMO RD
ROCKWALL, TX 75087

MASON PATRICK AND JANEL R
1607 ALAMO RD
ROCKWALL, TX 75087

PITTO OSHRI
1608 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

WEBB BILLY AND PEGGY
1609 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
1610 ALAMO ST
ROCKWALL, TX 75087

CHILDS WILLIAM C & SHERYL L
1611 S ALAMO RD
ROCKWALL, TX 75087

MORGAN PAUL RICHARD
1613 S ALAMO ROAD
ROCKWALL, TX 75087

T ROCKWALL APARTMENTS TX LLC
16600 DALLAS PARKWAY SUITE 300
DALLAS, TX 75248

T ROCKWALL PHASE 2 LLC
16600 DALLAS PKWY SUITE 300
DALLAS, TX 75248

VANCE JASON L & DASHA
202 TANYA DR
ROCKWALL, TX 75087

RESIDENT
203 TANYA DR
ROCKWALL, TX 75087

HERRIN MARVIN ET UX
203 MEADOWDALE DR
ROCKWALL, TX 75087

RICHARDSON RANDAL & BARBARA
204 TANYA DR
ROCKWALL, TX 75087

DICKSON JUDITH TAYLOR & KENNETH D
205 MEADOWDALE DR
ROCKWALL, TX 75087

BARNETT DEYSI
205 TANYA DR
ROCKWALL, TX 75087

KELLEY STEPHAN BRANT & VIVIANA ELIZABETH
206 TANYA DRIVE
ROCKWALL, TX 75087

OEHLER GREGORY M & KATHRYN A
207 TANYA DR
ROCKWALL, TX 75087

PERRY RICHARD L
208 TANYA DR
ROCKWALL, TX 75087

BOUNDS JOY
209 TANYA DR
ROCKWALL, TX 75087

FLOYD DOROTHY RHEA
210 TANYA DR
ROCKWALL, TX 75087

BREWER GLENDA O
212 TANYA DR
ROCKWALL, TX 75087

BOBST DANIEL W AND JENNIFER L
2701 SUNSET RIDGE SUITE 610
ROCKWALL, TX 75032

KAPRANTZAS VICTORIA J
2748 MIRA VISTA LN
ROCKWALL, TX 75032

PHILIP ALWIN
279 ASHWOOD LN
SUNNYVALE, TX 75182

PHILIP ALWIN
279 ASHWOOD LN
SUNNYVALE, TX 75182

VILLA PEDRO E
302 BECKY LN
ROCKWALL, TX 75087

PEOPLES J P & B W JR
302 S GOLIAD SST
ROCKWALL, TX 75087

PEOPLES J PHILIP AND
BILLY W PEOPLES JR
311 HIGHLAND DRIVE
ROCKWALL, TX 75087

RPSC ROCKWALL PROPERTIES LLC
3201 E PRESIDENT GEORGE BUSH HIGHWAY
SUITE 101
RICHARDSON, TX 75082

ROCKWALL COMMONS LLC
341 VERACLIFF CT
OVIEDO, FL 32765

BURNS LORRAINE MARIETTI
403 W WASHINGTON ST
ROCKWALL, TX 75087

OPENDOOR PROPERTY TRUST I
410 N SCOTTSDALE RD STE 1600
TEMPE, AZ 85281

WADE KENNETH AND DEBBIE
4760 SECRET COVE
ROCKWALL, TX 75032

LONGRUN HOLDINGS LLC SERIES B
5941 GLENDOWER LANE
PLANO, TX 75093

TURCIOS MILTON NOE AND
JUAN RAMON TURCIOS
7227 HILLSHIRE LANE
SACHSE, TX 75048

LYLE WILLIAM M JR & ERICA
9605 ARDEN DR
ROCKWALL, TX 75087

CRUSE ROBERT B JR AND MARGARET A
P. O. BOX 2468
ROCKWALL, TX 75087

SLAUGHTER RICHARD E JR
PO BOX 1717
ROCKWALL, TX 75087

BURKE CASEY JOE AND ANDREA GAYDEN
PO BOX 2514
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-047: SUP for Private Tennis Court

Hold a public hearing to discuss and consider a request by Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 16, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-047: SUP for Private Tennis Court

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Empty form area for reasons]

Name: [Input field]
Address: [Input field]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A PRIVATE TENNIS COURT ON A 0.7940-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK B, EAGLE POINT ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Jeff Wolf of Nexcourt, Inc. on behalf of Rafael Hidalgo for the approval of a *Specific Use Permit (SUP)* for *Tennis Courts (Pickleball Courts)* on a 0.7940-acre parcel of land identified as Lot 3, Block B, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1400 Ridge Road, and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to grant a Specific Use Permit allowing for the establishment of a *Private Tennis Court* in a Single Family 10 (SF-10) District as stipulated by, *Article 04, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] on the *Subject Property*; and

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a private tennis court on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- (1) The *Private Tennis Court* shall maintain conformance to the approved site plan depicted in *Exhibits 'A'* of this ordinance.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the property owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF NOVEMBER, 2023.

Trace Johannessen, Mayor

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 16, 2023

2nd Reading: November 6, 2023

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2023

PROJECT NUMBER: Z2023-048
PROJECT NAME: SUP for a Restaurant with less than 2,000 SF
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisitions for the approval of a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	09/22/2023	Approved w/ Comments

09/22/2023: Z2023-046; Specific Use Permit (SUP) for Restaurant Less Than 2,000 SF with Drive-Through or Drive-In (HTeaO)
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is the approval of a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2023-046) in the lower right-hand corner of all pages on future submittals.

I.4 According to Planned Development District 70 (PD-70) [Ordinance No. 19-41] the Subject Property shall be subject to the requirements and land uses permitted in the General Retail (GR) District. The Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC) states that the Restaurant with Less Than 2,000 SF with Drive Through or Drive-In land use requires a Specific Use Permit (SUP) in a General Retail (GR) District. In addition, the Conditional Land Use Standards contained in Article 04, Permissible Uses, of the Unified Development Code (UDC) stipulate the following conditions for this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to the drive-through lanes to impair visibility and impact of head-lights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles per lane.

I.5 According to Subsection 01.06, Residential Adjacency Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In that is adjacent to a residential district shall be required to meet the Residential Adjacency Standards. In this case, the request appears to conform to all of the Residential Adjacency Standards.

M.6 Please make the following changes to the Concept Plan:

- (1) Show a minimum of six (6) vehicles. (Article 04, Permissible Uses, of the Unified Development Code)
- (2) Cluster the landscaping on the east side of the property behind the dumpster. (Subsection 01.05, Screening Standards, of Article 05, District Development Standards, of the Unified Development Code)
- (3) Add shrubs around the dumpster enclosure for proper screening. (Subsection 01.05, Screening Standards, of Article 05, District Development Standards, of the Unified Development Code)
- (4) Add headlight screening to the parking spaces on the east side of the property. (Article 04, Permissible Uses, of the Unified Development Code)
- (5) Remove and replace the crape myrtles with other approved accent trees. (Appendix C, Landscaping Guidelines and Requirements)
- (6) Increased landscaping along N. Goliad Street.

M.7 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

- (1) The development of the Subject Property shall generally conform to the Concept Plan as depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.

M.8 Please review the attached Draft Ordinance prior to the September 26, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than October 3, 2023. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 10, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 26, 2023.

I.10 The projected City Council meeting dates for this case will be October 16, 2023 (1st Reading) and November 6, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/19/2023	Approved w/ Comments

- 09/19/2023:
1. Show fire lane striping if fire lane is needed. Ensure min. fire lane radius can be met (20').
 2. What is the driveway spacing here? Please dimension.
 3. Min. 20' fire lane radius.
 4. Show proposed utilities on site plan.
 5. Bring the proposed water meters onto this lot. Will have to be within easements.
 6. Show stacked cars and ensure stacking requirements are met.
 7. All parking to be 20'x9'.
 8. No trees within 10' of NTMWD water line.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- The property will need to be platted.

Drainage Items:

- Detention is required.

- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Detention ponds must be in a drainage and detention easement.
- No vertical walls in detention ponds
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.
- Dumpster areas/pads must drain to an oil/water separator.

Water and Wastewater Items:

- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements. Easement width based on size of line and depth.
- Required to show ex. and proposed water and sewer on site plan.

Roadway Paving Items:

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/21/2023	Approved

09/21/2023: * GREASE TRAP REQUIRED FOR BUSINESS

* OIL/WATER SEPARATOR REQUIRED FOR DUMPSTER ENCLOSURE,ENCLOSURE TO HAVE A TRENCH DRAIN THAT WILL FLOW THROUGH AN OIL/WATER SEPARATOR BEFORE DISCHARGING TO THE STORM WATER LINE

* MORE REQUIREMENTS MAY BE REQUIRED WHEN BUILDING PLANS ARE SUBMITTED

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/18/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/18/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Angelica Guevara	09/22/2023	N/A

No Comments

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- The property will need to be platted.

Drainage Items:

- Detention is required.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Detention ponds must be in a drainage and detention easement.
- No vertical walls in detention ponds
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.
- Dumpster areas/pads must drain to an oil/water separator.

Water and Wastewater Items:

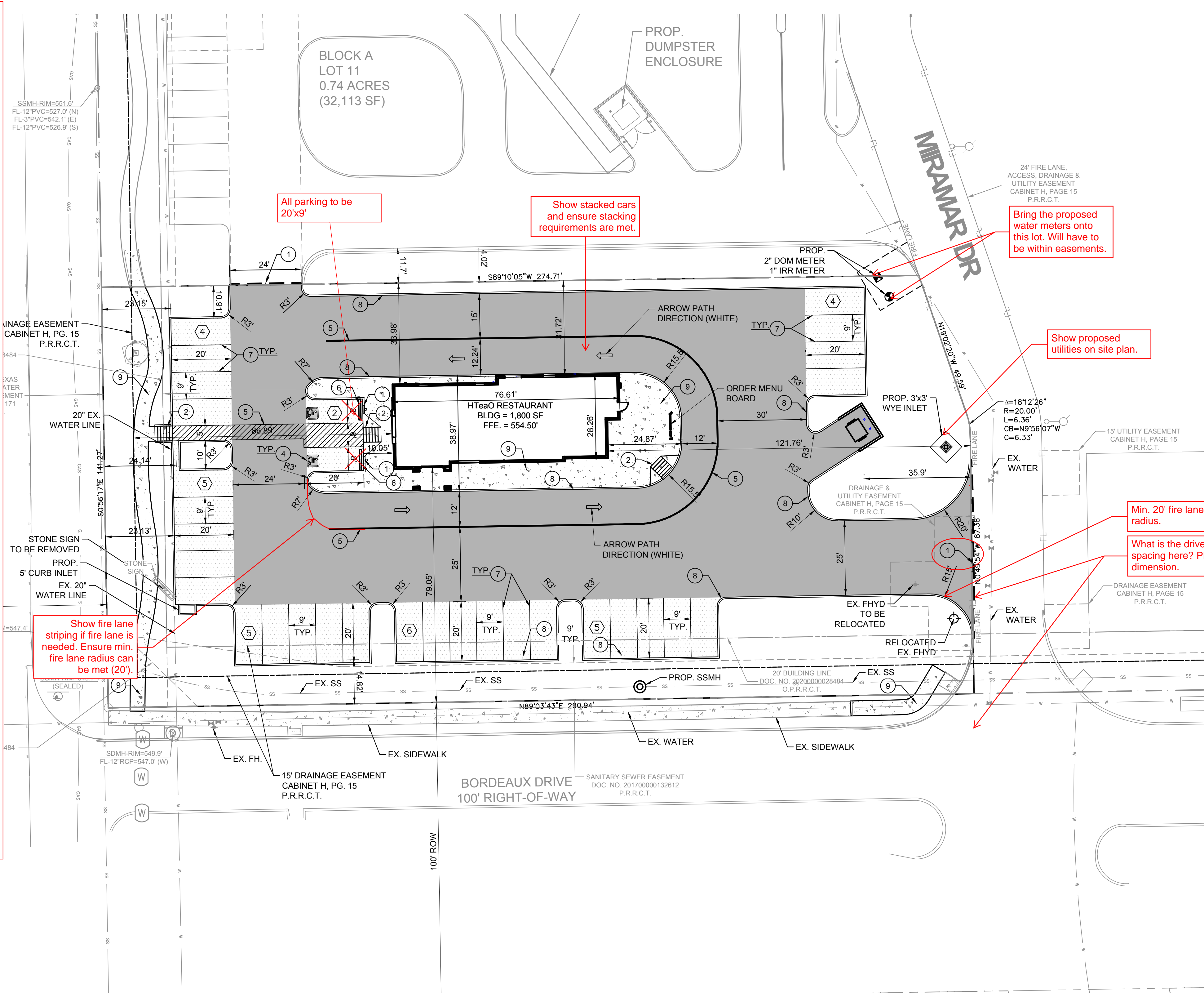
- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements. Easement width based on size of line and depth.
- Required to show ex. and proposed water and sewer on site plan.

Roadway Paving Items:

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



PLOTTED BY: SASHI SANCA
 PLOT DATE: 9/15/2023 11:22 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2023-110 APPPJ MGMT - HTEAO ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 9/15/2023 11:21 AM

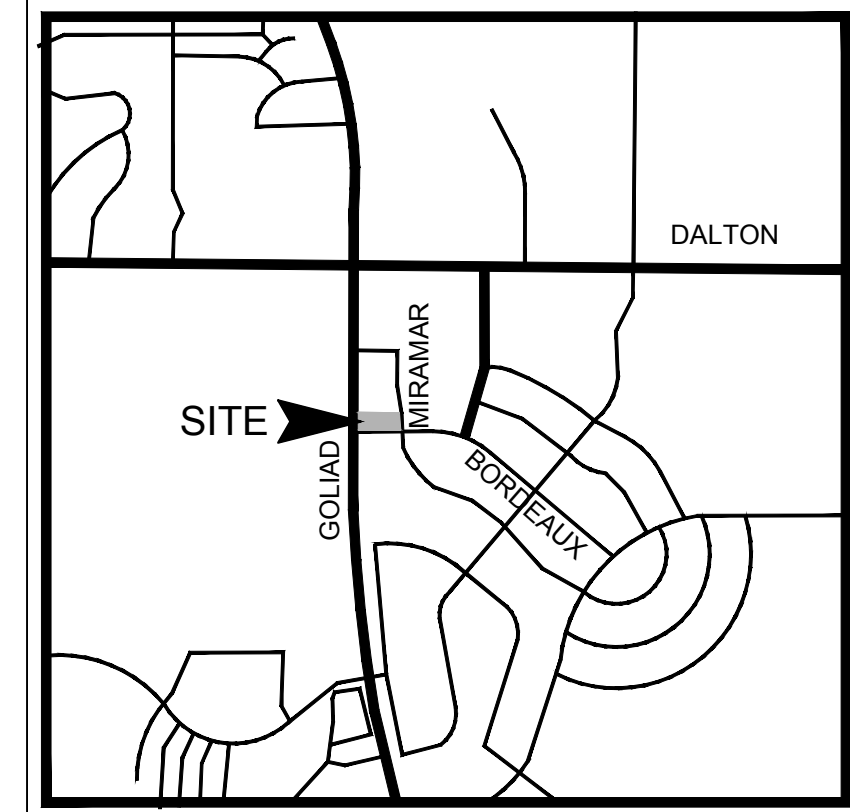
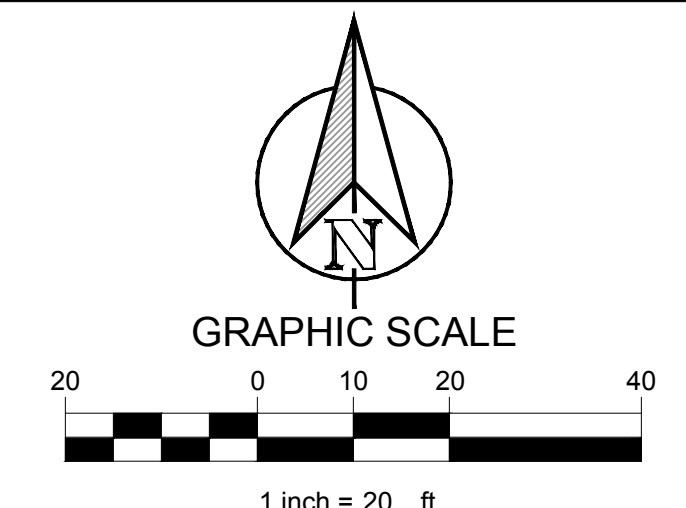
PARKING DATA TABLE	
PARKING REQ.	
DRIVE-THRU RESTAURANT (1,800 SF) 1/ 100 SF	18 SPACES
PARKING PROVIDED	
STANDARD PARKING	29 SPACES
ADA PARKING	2 SPACES
TOTAL	31 SPACES (2 ADA)

SITE DATA TABLE	
SITE AREA	0.933 AC (40,627 SF)
ZONING	PD-70
PROPOSED USE	DRIVE-THRU RESTAURANT
BUILDING SIZE	1,800 SF
BUILDING STORIES	1 STORY
TOTAL IMPERVIOUS	28,117 SF (69)

CONSTRUCTION SCHEDULE	
①	HANDICAP SIGN
②	ADA RAMP, 12:1 MAX. SLOPE
③	SAWCUT FULL DEPTH EXISTING PAVEMENT
④	HANDICAP SYMBOL
⑤	PAVEMENT STRIPING
⑥	CURB STOP
⑦	4" PARKING STALL STRIPING COLOR: WHITE
⑧	CURB & GUTTER PER DETAIL SHEET C-12
⑨	PROPOSED SIDEWALK SEE DETAIL SHEET C-12

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

OWNER:
 METROPLEX ACQUISITIONS FUND, LP
 1717 WOODSTEAD CT. SUITE 207
 THE WOODLANDS, TX 77380
 CONTACT: STACI BOWEN
 PH: 214.343.447



CONSTRUCTION SCHEDULE	
[Symbol]	PROPOSED 5" LIME STABILIZED STANDARD DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED 6" LIME STABILIZED HEAVY DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED 5" LIME STABILIZED SIDEWALK CONCRETE PAVEMENT
[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PROPOSED FIRE LANE, PUBLIC ACCESS (ADN) UTILITY EASEMENT
[Symbol]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

- NOTES:**
1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

APPPJ MANAGEMENT
 LEGAL DESCRIPTION AND OR ADDRESS:
 HWY 205 & BORDEAUX DRIVE
 ROCKWALL, TX 75087
 0.933 AC (40,627 SF)

DEVELOPER:
 APPPJ MANAGEMENT
 740 AVALON DR
 HEATH, TX 75032
 CONTACT: JEFF IVY
 PH: 214-272-4350

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: CLAY CRISTY
 PH: 817.281.0572

CASE NUMBER:
 SP2023-000

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____

PLANNING AND ZONING COMMISSION, CHAIRMAN
 DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1903 CENTRAL DR. SUITE #406
 BEDFORD, TX 76021
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 CLAY CRISTY
 Engineer No. 109800 Date 9/15/2023

**HTEAO RESTAURANT
 HWY 205 & BORDEAUX DR
 ROCKWALL, TX 75087**

No.	DATE	REVISION	BY
1	12/07/2020	STORM REVISION	LRR
2	09/13/2021	STORM REVISION	LRR

SITE PLAN

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 9/15/2023

SHEET
SP-1
 File No. 2020-021
 CASE # SP2023-000



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address _____

Subdivision Stone Creek Retail Addition

Lot 12

Block A

General Location North East Corner of N. Goliad St and Bordeaux Dr.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-070

Current Use Undeveloped

Proposed Zoning PD-070

Proposed Use Retail

Acreage 0.93

Lots [Current] 1

Lots [Proposed] 2

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Metroplex Acquisition Fund, LP

Applicant ClayMoore Engineering

Contact Person Staci Bowen

Contact Person Clay Cristy

Address 1717 Woodstead Ct.

Address 1903 Central Dr.

Ste. 207

Ste. 406

City, State & Zip The Woodlands, TX 77380

City, State & Zip Bedford, Texas 76021

Phone 214.343.4477

Phone 817.281.0572

E-Mail sbowen@crestviewcompanies.com

E-Mail Clay@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

Billy J. Brice III, President of Metroplex Acquisition Fund, LP

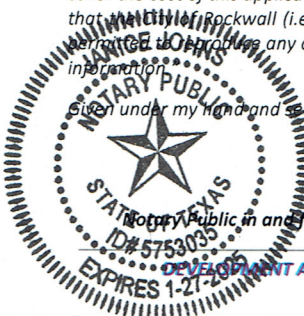
Before me, the undersigned authority, on this day personally appeared [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 482.57, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of September, 20 23. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information.

Signed under my hand and seal of office on this the 14th day of September, 20 23

Owner's Signature

My Commission Expires 1-27-2025



0 20 40 80 120 160 Feet

Z2023-048: SUP for a Restaurant (HTeaO)

205

N GOLIAD ST

SF-16

PD-70

BORDEAUX DR

MIRAMAR DR

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

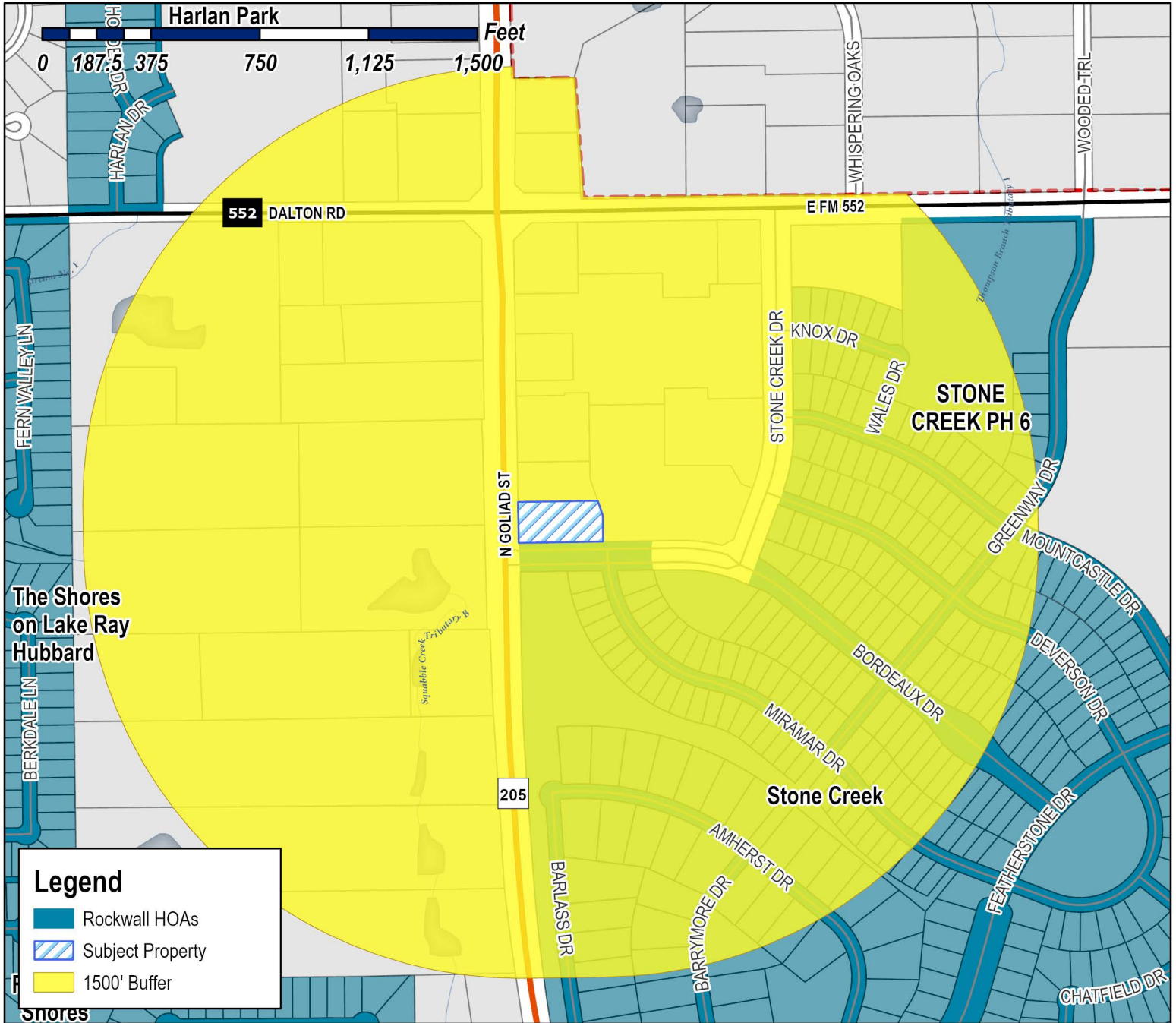




City of Rockwall

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Legend

-  Rockwall HOAs
-  Subject Property
-  1500' Buffer

Case Number: Z2023-048
Case Name: SUP for a Restaurant Less Than 2,000 SF w/Drive-Through
Case Type: Zoning
Zoning: Planned Development District 70 (PD-70)
Case Address: NEC of N. Goliad Street & Bordeaux Street

Date Saved: 9/15/2023

For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-048]
Date: Friday, September 22, 2023 10:30:04 AM
Attachments: [Public Notice \(P&Z\) \(09.18.2023\).pdf](#)
[HOA Map \(09.18.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [September 22, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 10, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 16, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-048: SUP for a Restaurant w/ Less Than 2,000 SF

Hold a public hearing to discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisitions for the approval of a [Specific Use Permit \(SUP\)](#) for a Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

Thank You,

Melanie Zavala

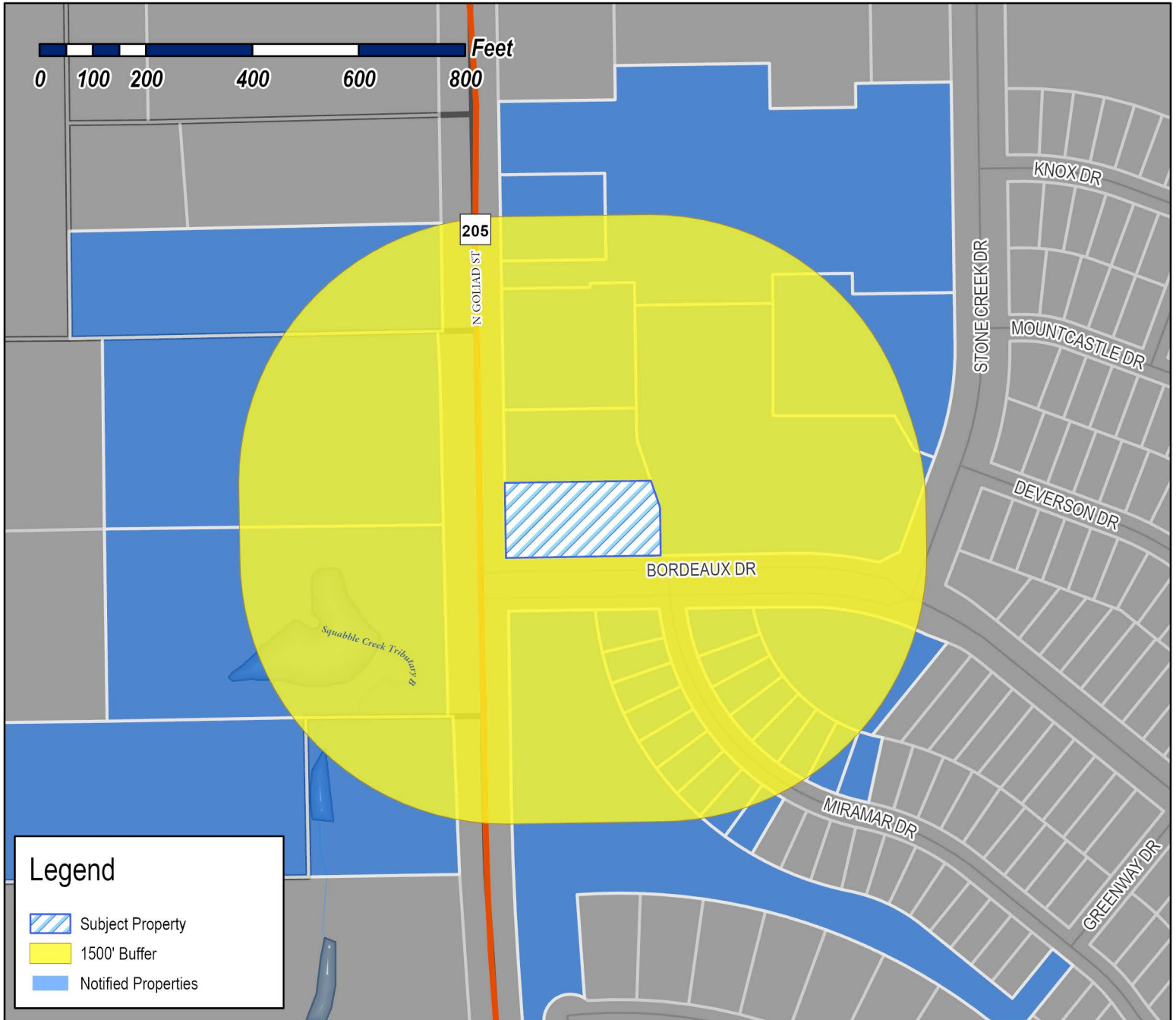
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-048
Case Name: SUP for a Restaurant Less Than 2,000 SF w/Drive-Through
Case Type: Zoning
Zoning: Planned Development District 70 (PD-70)
Case Address: NEC of N. Goliad Street & Bordeaux Drive

Date Saved: 9/15/2023

For Questions on this Case Call: (972) 771-7746



ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

METROPLEX ACQUISITION FUND, LP
1717 WOODSTEAD CT STE 207
THE WOODLANDS, TX 77380

WEST JEFFREY A & CHANTEL M
3059 N GOLIAD STREET
ROCKWALL, TX 75087

RESIDENT
3061 N GOLIAD ST
ROCKWALL, TX 75087

STEED JASON & NATALIE MARIE
3065 N GOLIAD STREET
ROCKWALL, TX 75087

RESIDENT
3066 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3068 N GOLIAD ST
ROCKWALL, TX 75087

LIU JOHN AND CONNIE Q
3069 N GOLIAD
ROCKWALL, TX 75087

LIU JOHN & CONNIE
3069 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3070 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3073 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3074 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3077 N GOLIAD ST
ROCKWALL, TX 75087

METROPLEX ACQUISITION FUND LP
C/O RONALD DRIBBEN
357 MARIAH BAY DRIVE
HEATH, TX 75032

GEISENDORFF ALBERT G AND ANN M
3057 N GOLIAD ST
ROCKWALL, TX 75087

NORTH ROCKWALL REAL-ESTATE LLC
6245 RYEWORTH DRIVE
FRISCO, TX 75035

VALK CATHLEEN A
794 MIRAMAR DRIVE
ROCKWALL, TX 75087

VOLL ANDREW W AND JOANNA
796 MIRAMAR DR
ROCKWALL, TX 75087

MARTIN VICTORIA C
798 MIRAMAR DR
ROCKWALL, TX 75087

MCCORMICK KEVIN & JULIA
799 MIRAMAR DRIVE
ROCKWALL, TX 75087

RESIDENT
801 BORDEAUX DR
ROCKWALL, TX 75087

FRITCHIE FAMILY REVOCABLE TRUST
RANDALL S FRITCHIE AND SANDRA L FRITCHIE-
COTRUSTEES
801 MIRAMAR DR
ROCKWALL, TX 75087

CRAWFORD KATHY
802 MIRAMAR DRIVE
ROCKWALL, TX 75087

EMBRY DAVID M AND ASHLEY
803 MIRAMAR DRIVE
ROCKWALL, TX 75087

KIM YUN HYUN & JIN HEE JUNG
804 MIRAMAR DRIVE
ROCKWALL, TX 75087

GODINEZ KAREN W
805 MIRAMAR DRIVE
ROCKWALL, TX 75087

CYPERT LYNDOL & JERE
806 MIRAMAR DRIVE
ROCKWALL, TX 75087

RESIDENT
807 MIRAMAR DR
ROCKWALL, TX 75087

BAILEY JERRY SCOTT & KAREN RENEE
808 MIRAMAR DRIVE
ROCKWALL, TX 75087

GREER KRISTEN N
809 MIRAMAR DR
ROCKWALL, TX 75087

SHING RICHARD L & IVEY D
810 MIRAMAR DR
ROCKWALL, TX 75087

HASSAN ALAA E & PATRICIA ANN HASSAN
IBRAHIM
811 MIRAMAR DRIVE
ROCKWALL, TX 75087

CONFIDENTIAL
813 MIRAMAR DRIVE
ROCKWALL, TX 75087

RAJBHANDARI SANJAY KUMAR
815 MIRAMAR DRIVE
ROCKWALL, TX 75087

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-048: SUP for Restaurant w/ Less Than 2,000 SF

Hold a public hearing to discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisitions for the approval of a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In for the purpose of constructing a restaurant (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 16, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-048: SUP for Restaurant w/ Less Than 2,000 SF

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

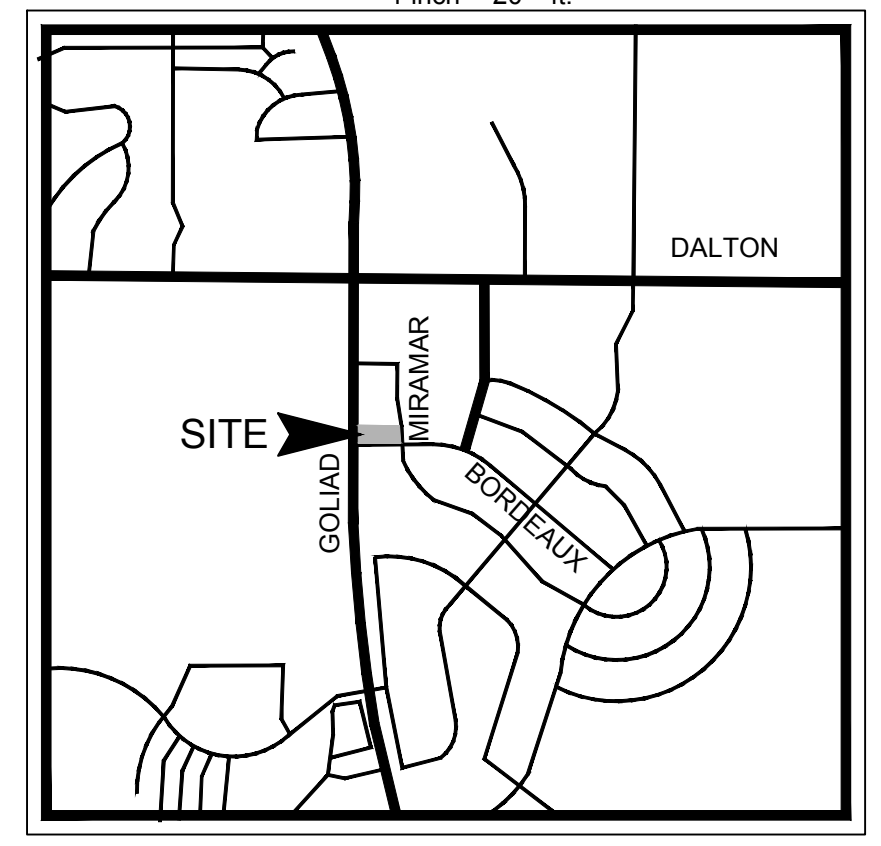
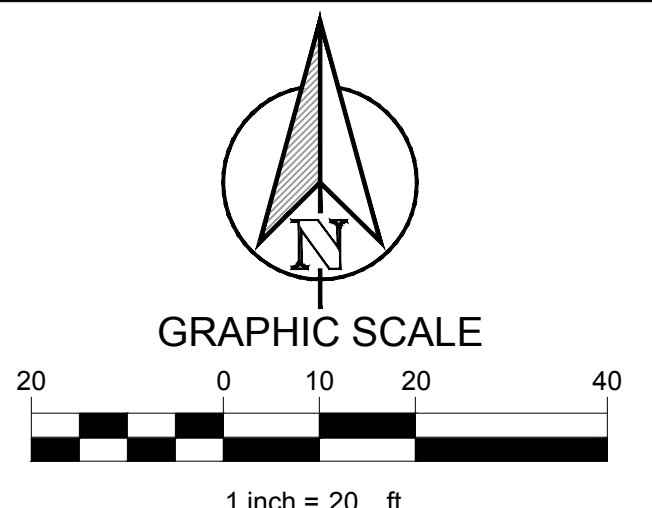
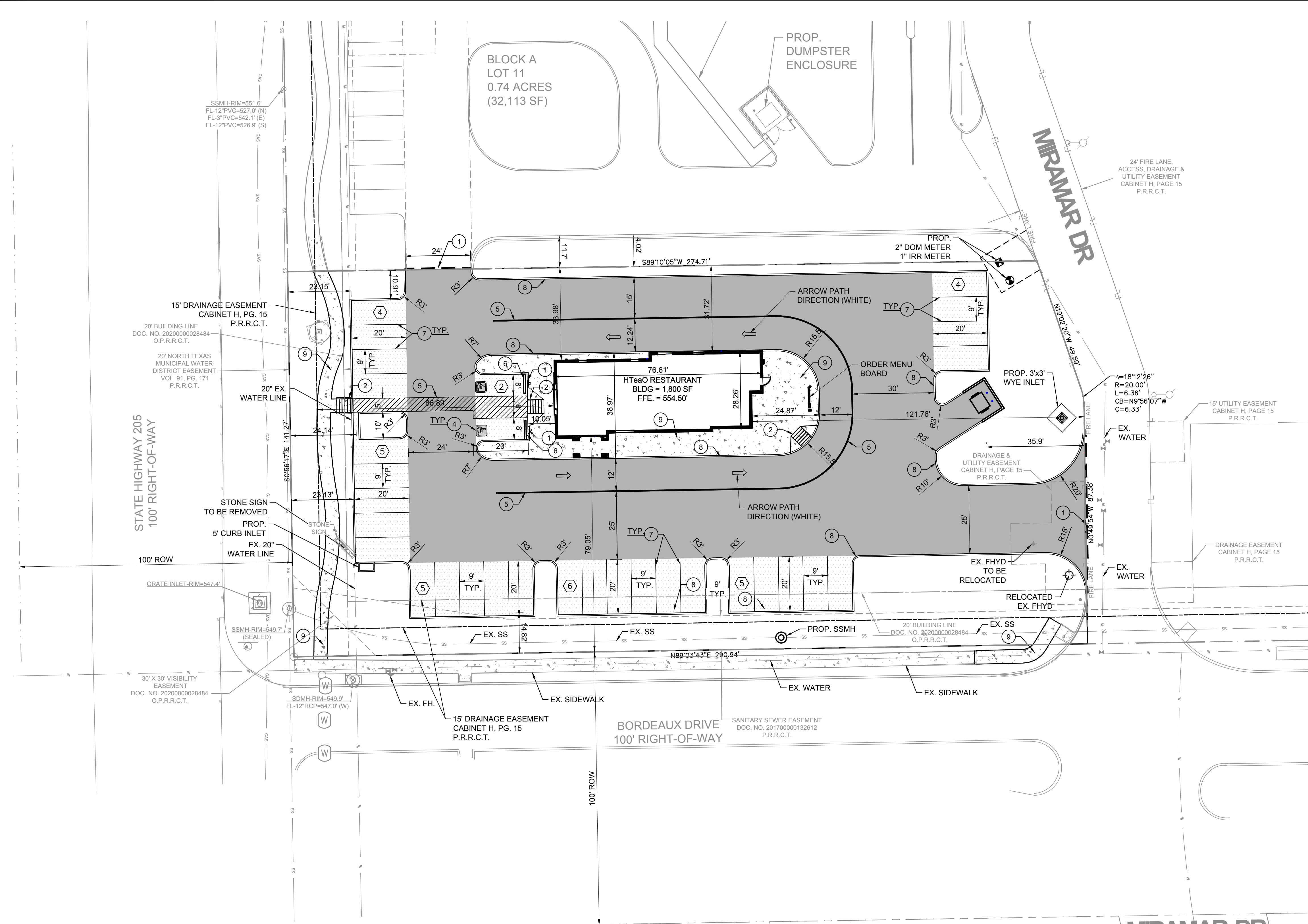
[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLOTTED BY: SASHI SANCA
 PLOT DATE: 9/15/2023 11:22 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2023-110 APPPJ MGMT - HTEAO ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 9/15/2023 11:21 AM



CONSTRUCTION SCHEDULE	
[Pattern]	PROPOSED 5" LIME STABILIZED STANDARD DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED 6" LIME STABILIZED HEAVY DUTY CONCRETE PAVEMENT
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[Line]	PROPERTY LINE
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[Line]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

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 - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

PARKING DATA TABLE	
PARKING REQ.	
DRIVE-THRU RESTAURANT (1,800 SF) @ 100 SF	18 SPACES
PARKING PROVIDED	
STANDARD PARKING	29 SPACES
ADA PARKING	2 SPACES
TOTAL	31 SPACES (2 ADA)

SITE DATA TABLE	
SITE AREA	0.933 AC (40,627 SF)
ZONING	PD-70
PROPOSED USE	DRIVE-THRU RESTAURANT
BUILDING SIZE	1,800 SF
BUILDING STORIES	1 STORY
TOTAL IMPERVIOUS	28,117 SF (69)

CONSTRUCTION SCHEDULE	
①	HANDICAP SIGN
②	ADA RAMP, 12:1 MAX. SLOPE
③	SAWCUT FULL DEPTH EXISTING PAVEMENT
④	HANDICAP SYMBOL
⑤	PAVEMENT STRIPING
⑥	CURB STOP
⑦	4" PARKING STALL STRIPING COLOR: WHITE
⑧	CURB & GUTTER PER DETAIL SHEET C-12
⑨	PROPOSED SIDEWALK, SEE DETAIL SHEET C-12

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

OWNER:
 METROPLEX ACQUISITIONS FUND, LP
 1717 WOODSTEAD CT. SUITE 207
 THE WOODLANDS, TX 77380
 CONTACT: STACI BOWEN
 PH: 214.343.447

APPPJ MANAGEMENT
 LEGAL DESCRIPTION AND OR ADDRESS:
 HWY 205 & BORDEAUX DRIVE
 ROCKWALL, TX 75087
 0.933 AC (40,627 SF)

DEVELOPER:
 APPPJ MANAGEMENT
 740 AVALON DR
 HEATH, TX 75032
 CONTACT: JEFF IVY
 PH: 214-272-4350

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: CLAY CRISTY
 PH: 817.281.0572

CASE NUMBER
 SP2023-000

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____

PLANNING AND ZONING COMMISSION, CHAIRMAN
 DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1903 CENTRAL DR. SUITE #406
 BEDFORD, TX 76021
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 CLAY CRISTY
 Engineer No. 109800 Date 9/15/2023

**HTEAO RESTAURANT
 HWY 205 & BORDEAUX DR
 ROCKWALL, TX 75087**

No.	DATE	REVISION	BY
1	12/07/2020	STORM REVISION	LRR
2	09/13/2021	STORM REVISION	LRR

SITE PLAN

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 9/15/2023

SHEET
SP-1

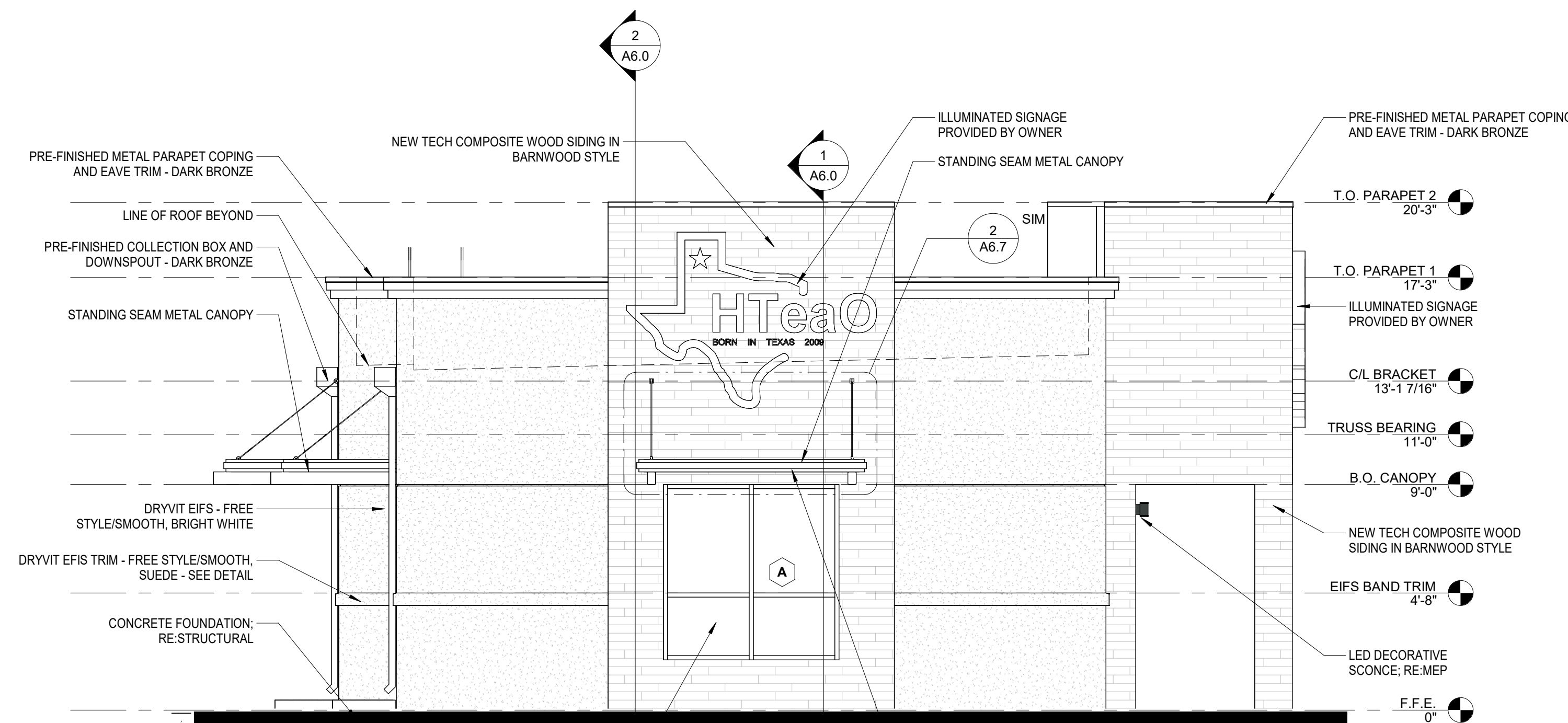
File No. 2020-021
 CASE # SP2023-000

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



HTEAO ROCKWALL
ADDRESS
LOCATION



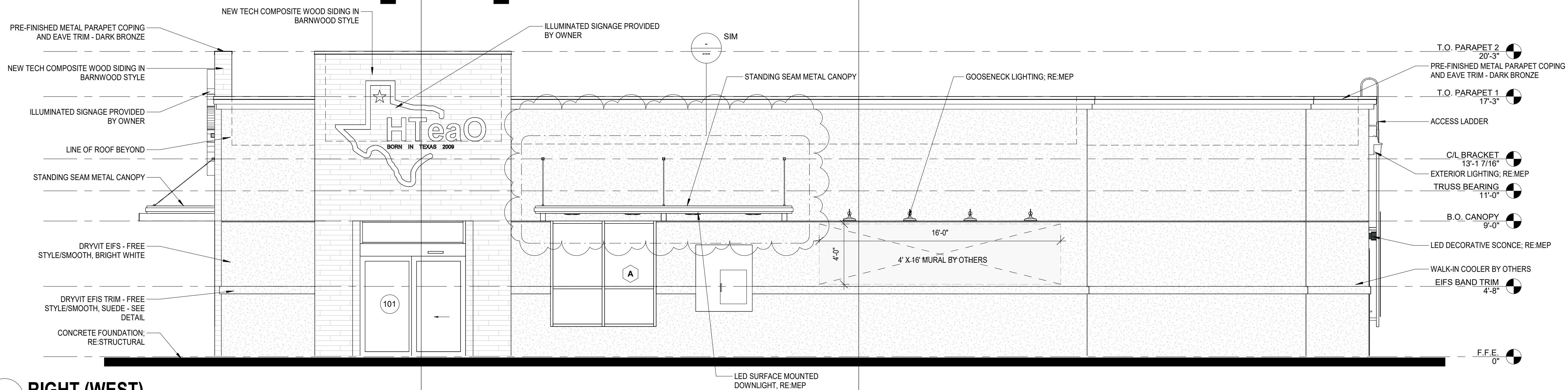
2 FRONT (NORTH)

SCALE: 1/4" = 1'-0"



3 3D View 2

SCALE:



1 RIGHT (WEST)

SCALE: 1/4" = 1'-0"



Date: 7-24-2023
Dwn: BRZ Chk: SJK
Project No.: 2348
Issue:

1	Revision 1	Date 1
---	------------	--------

Sheet Name:
EXTERIOR
ELEVATIONS

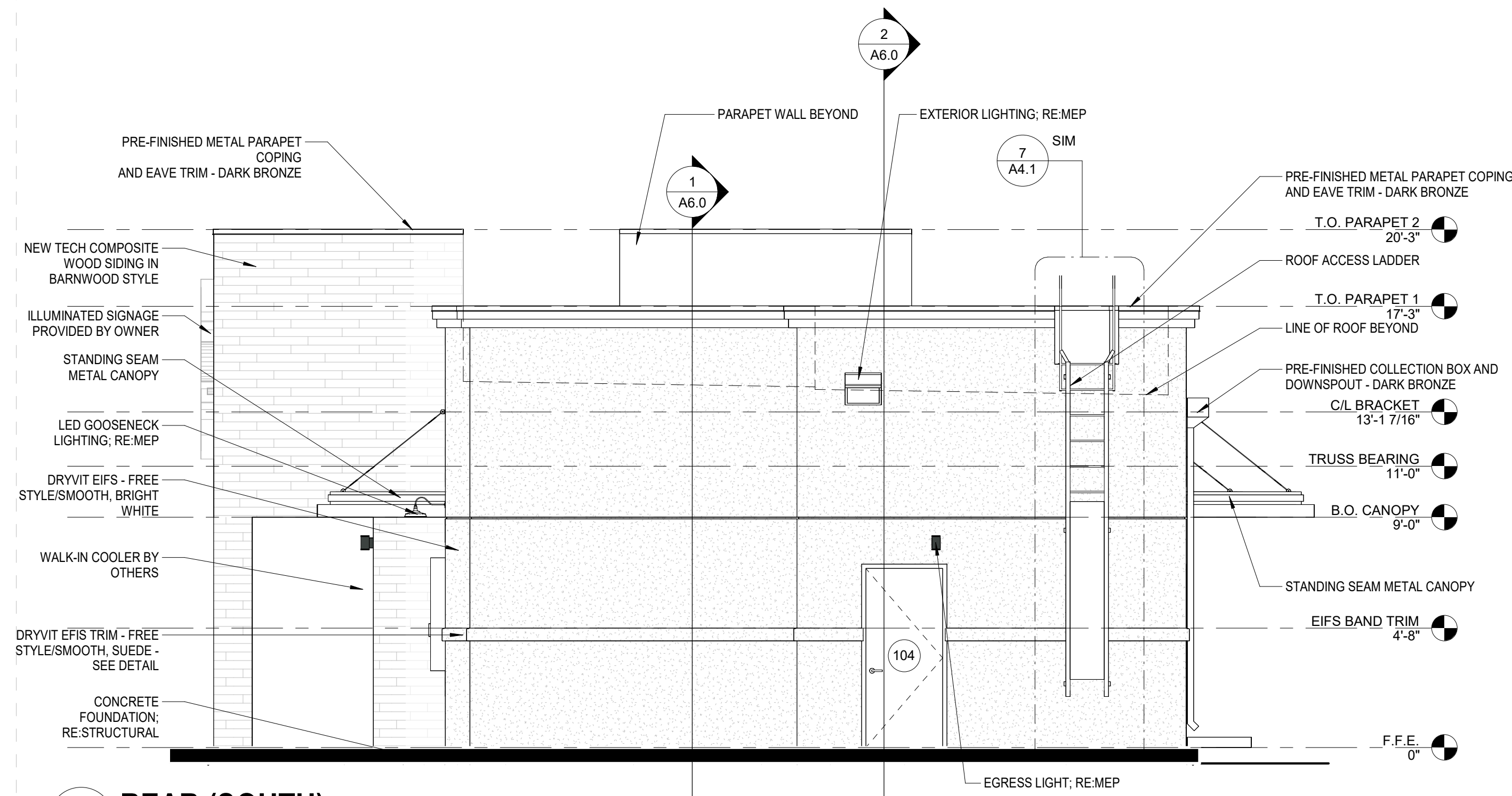
A5.0

GENERAL NOTES

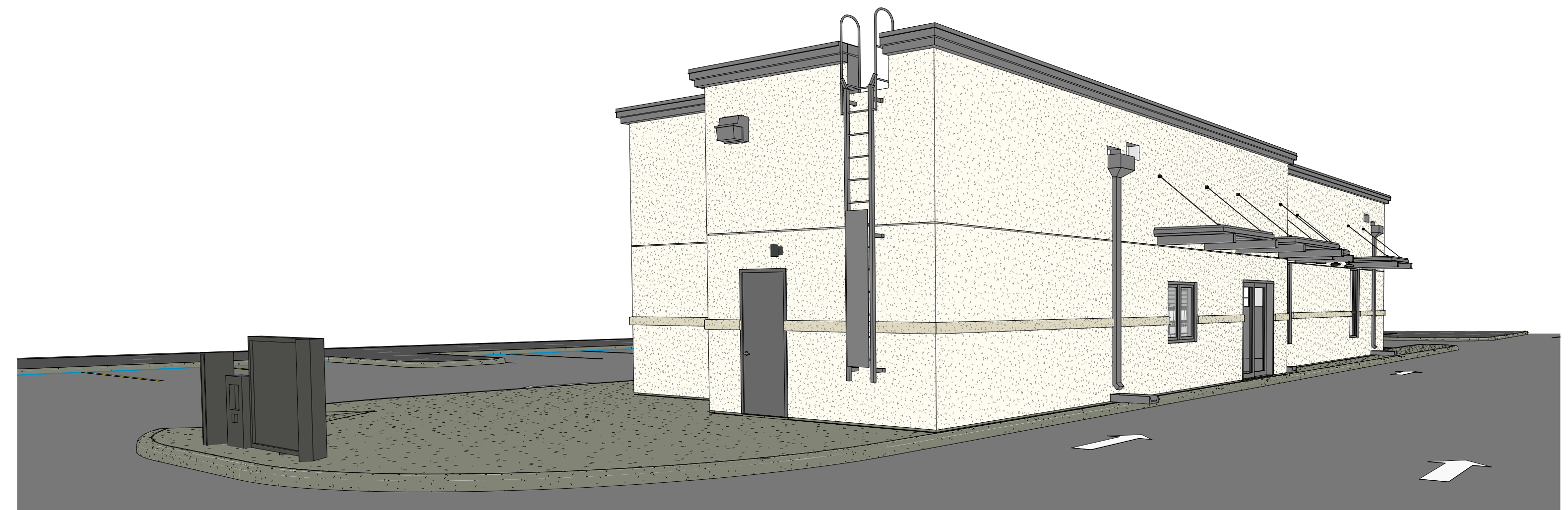
1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



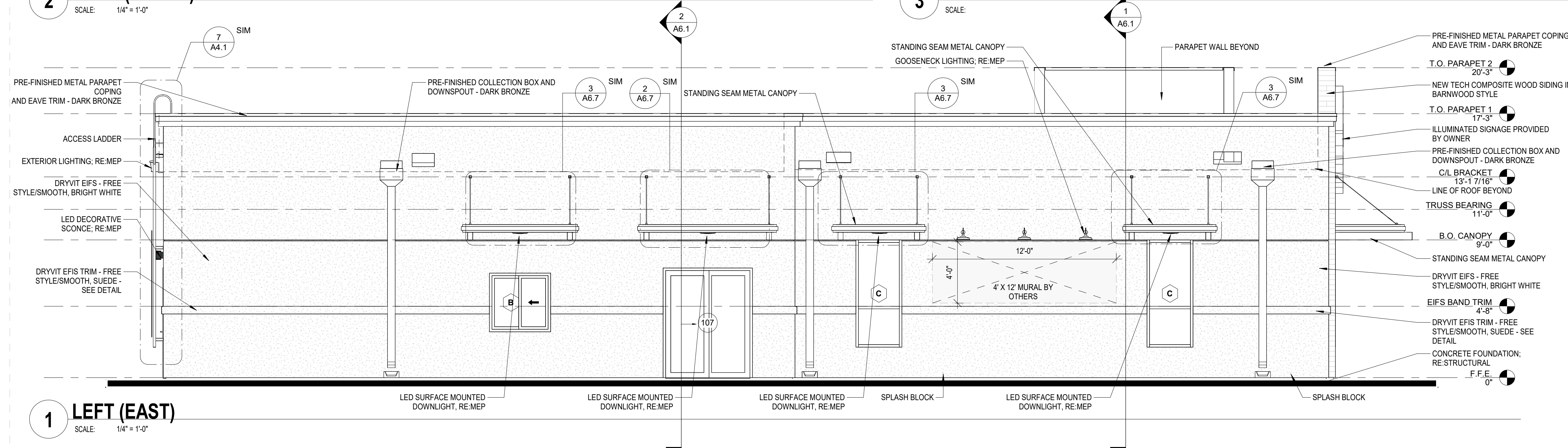
**HTEAO ROCKWALL
ADDRESS
LOCATION**



2 REAR (SOUTH)
SCALE: 1/4" = 1'-0"



3 3D View 1
SCALE:



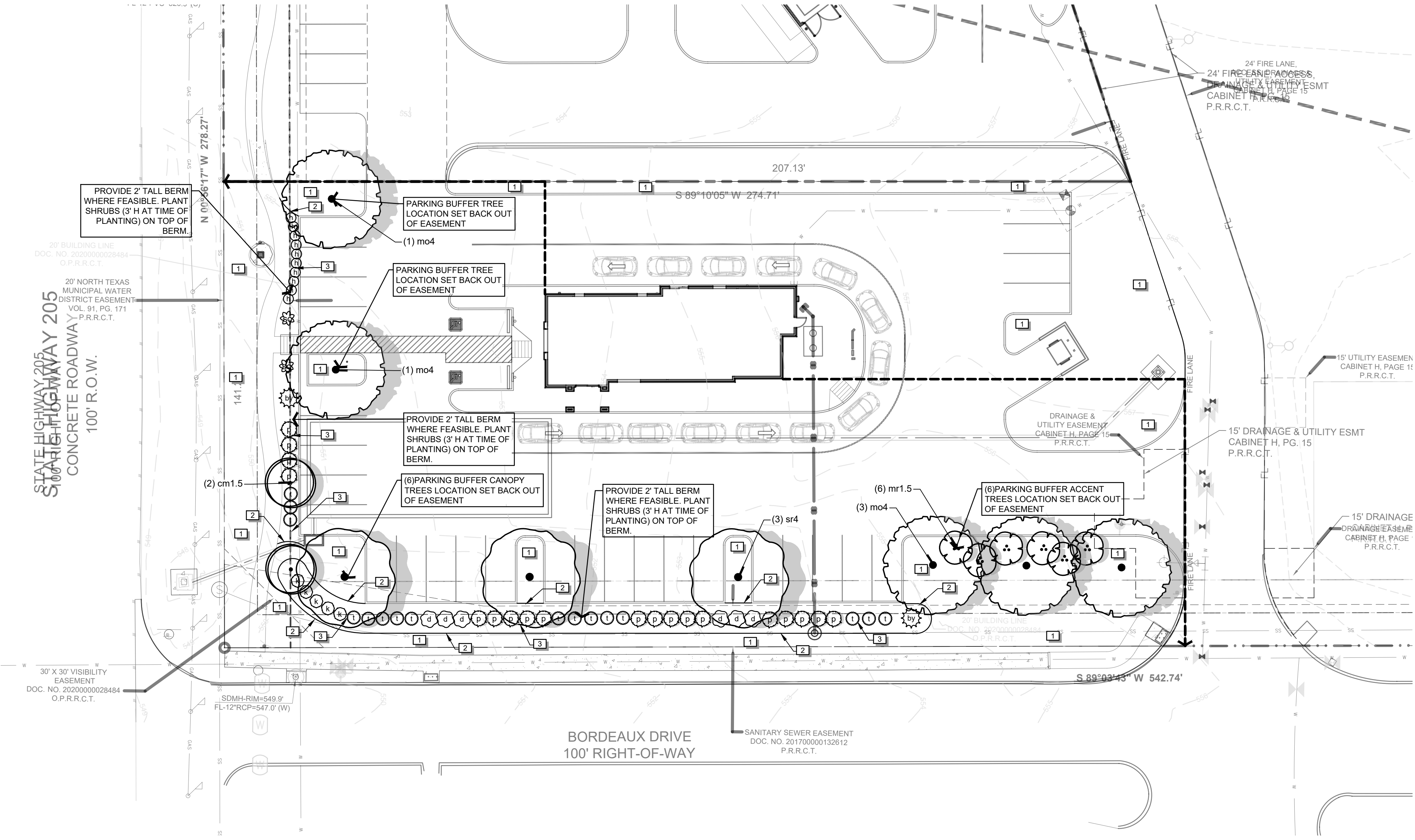
1 LEFT (EAST)
SCALE: 1/4" = 1'-0"



Date: 7-24-2023
Dwn: BRZ Chk: SJK
Project No.: 2348
Issue:

Sheet Name:
**EXTERIOR
ELEVATIONS**

A5.1

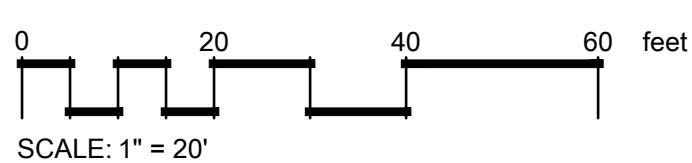


LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
LANDSCAPE BUFFER		
• N Goliad Dr. (110 lf)		
•• Shade trees (1 per 50 lf)	2	2
•• Accent trees (1 per 50 lf)	2	2
• Bordeaux Dr. (291 lf)		
•• Shade trees (1 per 50 lf)	6	6
•• Accent trees (1 per 50 lf)	6	6
LANDSCAPE SCREENING		
• Headlight Screening (shrubs and 2' tall berm)		
•• N Goliad Dr.	73 lf	75 lf
•• Bordeaux Dr.	182 lf	184 lf
LANDSCAPE REQUIREMENTS		
• Total Site Area	8,524sf	42,619sf
• Amount of Landscaping (20% Total Site)	1,705sf	12,702sf
• Location of Landscaping (50% in Streetyard)	4,262sf	9,163sf

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	Lawn, Sod
2	Steel Edge
3	Mulch



PLANT SCHEDULE

TREES	CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	QTY
	mo4	Monterey Oak	Quercus polymorpha 'Monterey'	-	4"Cal	6' H min	5
	sr4	Shumard Red Oak	Quercus shumardii	-	4"Cal	6' H min	3
	cm1.5	Crape Myrtle, Muskogee	Lagerstroemia indica 'Muskogee'	-	1.5"Cal	6' H min	2
	mr1.5	Mexican Redbud	Cercis canadensis mexicana	-	1.5"Cal	6' H min	6
SHRUBS	CODE	COMMON NAME	BOTANICAL NAME	CONT	SIZE		
	by	Beaked Yucca, 'Blue Velvet'	Yucca rostrata 'Blue Velvet'	5 gal			1
	d	Dwarf Palmetto	Sabal minor	5 gal			6
	h	Dwarf Burford Holly	Ilex cornuta 'Burfordii Nana'	5 gal			10
	k	Knock Out Rose	Rosa acicularis 'Knock Out'	5 gal			5
	p	Pineapple Guava	Feijoa sellowiana	5 gal			19
	so	Sotol	Dasylirion texanum	5 gal			2
	t	Texas Sage 'Silverado'	Leucophyllum frutescens 'Silverado'	5 gal			18

Date									
Description									
Rev									
Consultant Seal									
Company Name and Address									
William S. Blair (512) 522-8979 info@blairla.com www.blairla.com 100 Congress Ave. Ste 2000 Austin, TX 78701									
Project Name and Address									
HteaO Rockwall N Goliad Dr. and Bordeaux Dr. Rockwall, Texas									
Sheet Title									
Landscape Plan									
Design By: Will Blair									
Checked By: xxxx									
Issue Date: 09/15/2023									
Project Number: Z3062-LP									
L1 OF 2									



Contractors:
 email info@blairla.com with RFIs, submittals, & inspection scheduling
 Schedule inspections at least 2 weeks in advance

Know what's below.
 Call before you dig.

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 70 (PD-70) [ORDINANCE NO. 19-41] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN* ON A 0.93-ACRE PORTION OF A LARGER 5.16-ACRE PARCEL OF LAND IDENTIFIED AS LOT 13, BLOCK A, STONE CREEK RETAIL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DESCRIBED IN *EXHIBIT 'A'* AND DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Clay Cristy of ClayMoore Engineering for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* for the purpose of constructing a restaurant with drive-through on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and being more specifically described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 70 (PD-70) [Ordinance No. 19-41] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. Planned Development District 70 (PD-70) [Ordinance No. 19-41] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant*

with Less Than 2,000 SF with Drive-Through or Drive-In in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.04, *General Retail (GR) District*, and Subsection 06.11, *North SH-205 Overlay (N. SH-205 OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 70 (PD-70) [Ordinance No. 19-41] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The applicant shall add increased landscaping on the west side of the property along N. Goliad Street.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6th DAY OF NOVEMBER, 2023.**

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

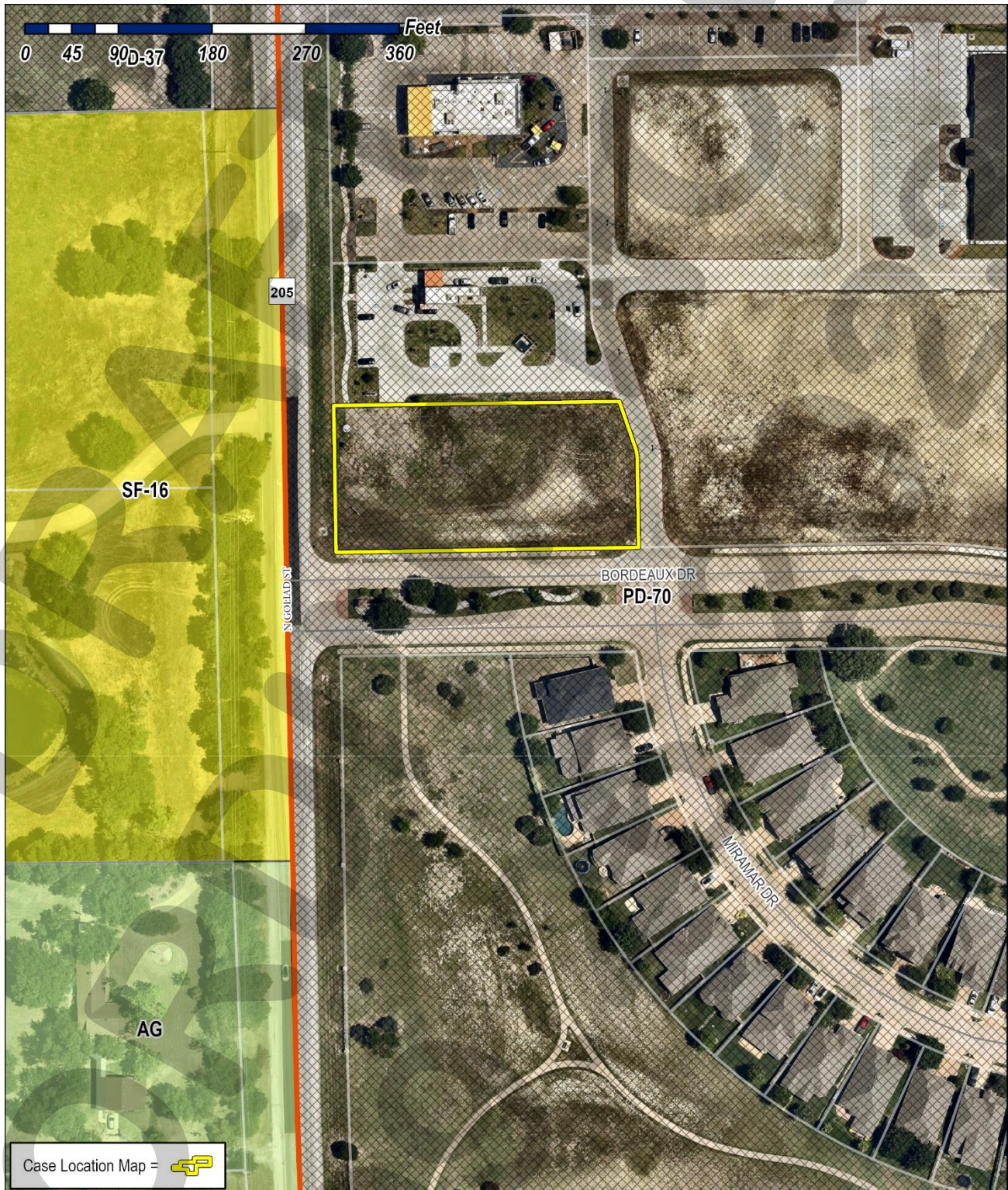
1st Reading: October 18, 2023

2nd Reading: November 6, 2023

Exhibit 'A'
Location Map

Address: NEC of N. Goliad Street [SH-205] and Bordeaux Drive

Legal Description: Lot 13, Block A, Stone Creek Retail Addition



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2023

PROJECT NUMBER: P2023-029
PROJECT NAME: Final Plat for lots 1-3, Block A, Brewer Bend Addition
SITE ADDRESS/LOCATIONS: 626 Cullins Road

CASE CAPTION: Consider a request by Dakota Brewer for the approval of a *Final Plat* for Lots 1-3, Block A, Brewer Bend Addition being a 5.41-acre tract of land identified as *Tract 4-2* and a portion of *Tract 4-06*, of the *W.W. Ford Survey, Abstract No. 80*, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 4.0 (SFE-4.0) District, addressed as 626 Cullins Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	09/19/2023	Approved w/ Comments

09/19/2023: P2023-029: Final Plat for Lots 1-3, Block A, Brewer Bend Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Dakota Brewer for the approval of a Final Plat for Lots 1-3, Block A, Brewer Bend Addition being a 5.41-acre tract of land identified as Tract 4-2 and a portion of Tract 4-06, of the W.W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 4.0 (SFE-4.0) District, addressed as 626 Cullins Street.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2023-029) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

Final Plat
Lots 1-3, Block A
Brewer Bend Addition
Being Three (3) lots
5.41 Acres Or 235,559 SF
Situated within the
W.W. Ford Survey, Abstract No. 80
City of Rockwall, Rockwall County, Texas

M.5 Please provide the following Signature Block on the second page. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

MAYOR OF THE CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CHAIRMAN

CITY SECRETARY

CITY ENGINEER

M.6 Indicate the City Limits on the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Provide the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

(5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

M.8 Provide the new Owner's Certificate of Dedication. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Provide the centerline of Cullins Road. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.10 Indicate all existing and proposed corner clips and any subsequent dedication. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.11 Correct the front building setbacks for Lots 2 & 3 to 50 feet. (Subsection 07.01, Residential District Development Standards, of the Unified Development Code [UDC])

M.12 Correct the side building setback for Lot 1 to 25 feet. (Subsection 07.01, Residential District Development Standards, of the Unified Development Code [UDC])

M.13 Correct the front building setback for Lot 1 to 50 feet. (Subsection 07.01, Residential District Development Standards, of the Unified Development Code [UDC])

M.14 All owners must sign the plat. Provide an owner's signature block for Lot 3 for Tony and Karren Pope. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

1.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

1.16 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: September 26, 2023
Parks and Recreation Board Meeting: October 3, 2023

I.17 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

I.18 This plat will need to be corrected and filed with Rockwall County before a building permit will be issued for any improvements on the properties.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/19/2023	Approved w/ Comments

09/19/2023: 1. 20'x20' corner clip for ROW needed at intersection.

2. Make sure that the General Notes encompass the required general note stated in the Subdivision Ordinance Section 38-7: Subdivision and Platting Procedures:

(b)General Notes. The following General Notes shall be provided on all subdivision plats:

(1)Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2)Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

(3)Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4)Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/18/2023	Approved w/ Comments

09/18/2023: Addresses will be:

Lot 1 - 626 E CULLINS RD, ROCKWALL, TX 75032

Lot 2 - 730 E CULLINS RD, ROCKWALL, TX 75032

Lot 3 - 790 E CULLINS RD, ROCKWALL, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/18/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Bethany Ross	09/21/2023	Approved w/ Comments

09/21/2023: The property owner shall pay pro-rata equipment fees of \$1,794 (i.e. \$897.00 x 2 Lots), which will be due prior to the issuance of a building permit.

The property owner shall pay cash-in-lieu of land fees of \$3,708 (i.e. \$1,854.00 x 2 Lots), which will be due prior to the issuance of a building permit.

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS DAKOTA BREWER & CLAIRE BREWER and AUSTEN BREWER & SARA BREWER, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, and being all of a tract of land as described in a Warranty deed from Erin Pope to Tony Pope and Karen Pope, dated June 14, 1994 and being recorded in Volume 915, Page 141 of the Real Property Records of Rockwall County, Texas, and being part of a 90 acre tract as recorded in Volume 67, Page 417, Deed Records, Rockwall County, Texas, and being a part of a 23.429 acres tract of land as described in a Warranty deed from Erin Pope to Tony Pope and Karen Pope, dated December 15, 2012 and being recorded in Volume 7050, Page 91 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 3/4" iron rod found for corner at the intersection of a turn in Cullins Road, said point being at the east most corner of said Pope tract and 90 acres tract of land;

THENCE S. 44 deg. 16 min. 14 sec. W. along the center of Cullins Road and southeast boundary of said Pope tract and 90 acres tract, a distance of 626.49 feet to a 1/2" iron rod found for corner;

THENCE S. 43 deg. 43 min. 03 sec. W. along the pavement of Cullins Road and southeast boundary of said Pope 23.429 acres tract, a distance of 161.97 feet to a Mag Nail set for corner;

THENCE N. 45 deg. 00 min. 00 sec. W. at 28.5 feet pass a 1/2" iron rod set for witness and continuing for a total distance of 647.33 feet to a 1/2" iron rod set for corner in the northwest boundary line of said Pope 23.429 acres tract of land;

THENCE N. 44 deg. 14 min. 20 sec. E. along the northwest boundary of Pope 23.429 acres tract, a distance of 162.29 feet to a 1/2" iron rod found for corner at the north most corner of Pope 23.429 acres tract of land;

THENCE S. 44 deg. 58 min. 59 sec. E. a distance of 437.15 feet to a 1/2" iron rod found for corner at the west corner of said 3.00 acres tract;

THENCE N. 44 deg. 16 min. 14 sec. E. at 600.0 feet pass a 1/2" iron rod found for witness and continuing for a total distance of 626.21 feet to a point for corner in Cullins Road;

THENCE S. 45 deg. 01 min. 11 sec. E. along the center of Cullins Road, a distance of 208.71 feet to the POINT OF BEGINNING and containing 235,559 square feet or 5.41 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as BREWER BEND ADDITION, LOTS 1-3, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in BREWER BEND ADDITION, LOTS 1-3, BLOCK A, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rock wall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sto rm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exaction's made herein.

DAKOTA BREWER _____ CLAIRE BREWER _____

AUSTEN BREWER _____ SARA BREWER _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared DAKOTA BREWER known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared AUSTEN BREWER known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

Make sure that the General Notes encompass the required general note stated in the Subdivision Ordinance Section 38-7: Subdivision and Platting Procedures...

(b)General Notes. The following General Notes shall be provided on all subdivision plats:

(1)Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2)Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

(3)Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4)Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared CLAIRE BREWER known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared SARAH BREWER known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of BREWER BEND ADDITION, LOTS 1-3, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall _____ City Secretary City of Rockwall _____

City Engineer _____ Date _____

FINAL PLAT

BREWER BEND ADDITION
LOTS 1-3, BLOCK A

5.41 ACRES 235,559 S.F.

W.W. FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:
DAKOTA BREWER
CLAIRE BREWER
AUSTEN BREWER
SARA BREWER
626 CULLINS ROAD
ROCKWALL, TEXAS 75087

SYMBOL LEGEND									
TV	GAS	FEL	FP	FP	FP	FP	FP	FP	FP
TELEPHONE	WATER	SEWER	WATER	SEWER	WATER	SEWER	WATER	SEWER	WATER
CABLE	RIVER	WATER	SEWER	WATER	SEWER	WATER	SEWER	WATER	SEWER
(E)	(S)	(L)	(P)	(P)	(P)	(P)	(P)	(P)	(P)
ELEC.	WATER	SEWER	WATER	SEWER	WATER	SEWER	WATER	SEWER	WATER
WATER	SEWER	WATER	SEWER	WATER	SEWER	WATER	SEWER	WATER	SEWER
ADJUSTED	ADJUSTED	ADJUSTED	ADJUSTED	ADJUSTED	ADJUSTED	ADJUSTED	ADJUSTED	ADJUSTED	ADJUSTED
DASHED LINE									

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE NOVEMBER 29, 2022
SCALE 1" = 50' FILE # 20220159-FP
CLIENT BREWER

CITY CASE P2023-



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ 420.00
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 626 Cullins Rd.
 SUBDIVISION: W.W. Ford Survey A-80 LOT: BLOCK:
 GENERAL LOCATION: Cullins Rd. & FM 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: SFE - 4 CURRENT USE: SFE - 2.0
 PROPOSED ZONING: SFE - 1.5 PROPOSED USE: SFE - 1.5
 ACREAGE: 5.41 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 3

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: Dakota & Claire Brewer, Austen & Sara Brewer
 APPLICANT: Same as Owner
 CONTACT PERSON: Dakota Brewer
 ADDRESS: 626 Cullins Rd, Rockwall, TX 75032
 CITY, STATE & ZIP: Rockwall, TX 75087
 PHONE: 972 743 6684
 E-MAIL: Dakota.Brewer@ntexas.edu

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Dakota & Austen Brewer [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

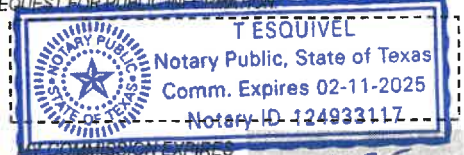
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF August, 2025.

OWNER'S SIGNATURE

Dakota Brewer
Austen Brewer

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

T. Esquivel





P2023-029: Final Plat for Lots 1-3, Block A, Brewer Bend Addition

0 100 200 400 600 800 Feet

SFE-2

SFE-2

549

PD-99

SFE-2

SFE-4

AG

E. CULLINS RD

Case Location Map =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



OWNER'S CERTIFICATE
(Public Dedication)
STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS DAKOTA BREWER & CLAIRE BREWER and AUSTEN BREWER & SARA BREWER, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, and being all of a tract of land as described in a Warranty deed from Erin Pope to Tony Pope and Karen Pope, dated June 14, 1994 and being recorded in Volume 915, Page 141 of the Real Property Records of Rockwall County, Texas, and being part of a 90 acre tract as recorded in Volume 67, Page 417, Deed Records, Rockwall County, Texas, and being a part of a 23.429 acres tract of land as described in a Warranty deed from Erin Pope to Tony Pope and Karen Pope, dated December 15, 2012 and being recorded in Volume 7050, Page 91 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 3/4" iron rod found for corner at the intersection of a turn in Cullins Road, said point being at the east most corner of said Pope tract and 90 acres tract of land;

THENCE S. 44 deg. 16 min. 14 sec. W. along the center of Cullins Road and southeast boundary of said Pope tract and 90 acres tract, a distance of 626.49 feet to a 1/2" iron rod found for corner;

THENCE S. 43 deg. 43 min. 03 sec. W. along the pavement of Cullins Road and southeast boundary of said Pope 23.429 acres tract, a distance of 161.97 feet to a Mag Nail set for corner;

THENCE N. 45 deg. 00 min. 00 sec. W. at 28.5 feet pass a 1/2" iron rod set for witness and continuing for a total distance of 647.33 feet to a 1/2" iron rod set for corner in the northwest boundary line of said Pope 23.429 acres tract of land;

THENCE N. 44 deg. 14 min. 20 sec. E. along the northwest boundary of Pope 23.429 acres tract, a distance of 162.29 feet to a 1/2" iron rod found for corner at the north most corner of Pope 23.429 acres tract of land;

THENCE S. 44 deg. 58 min. 59 sec. E. a distance of 437.15 feet to a 1/2" iron rod found for corner at the west corner of said 3.00 acres tract;

THENCE N. 44 deg. 16 min. 14 sec. E. at 600.0 feet pass a 1/2" iron rod found for witness and continuing for a total distance of 626.21 feet to a point for corner in Cullins Road;

THENCE S. 45 deg. 01 min. 11 sec. E. along the center of Cullins Road, a distance of 208.71 feet to the POINT OF BEGINNING and containing 235,559 square feet or 5.41 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as BREWER BEND ADDITION, LOTS 1-3, BLOCK A, an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in BREWER BEND ADDITION, LOTS 1-3, BLOCK A, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sto rm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exaction's made herein.

DAKOTA BREWER _____ CLAIRE BREWER _____

AUSTEN BREWER _____ SARA BREWER _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared DAKOTA BREWER known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared AUSTEN BREWER known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared CLAIRE BREWER known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared SARAH BREWER known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034



RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of BREWER BEND ADDITION, LOTS 1-3, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall _____ City Secretary City of Rockwall _____

City Engineer _____ Date _____

FINAL PLAT

BREWER BEND ADDITION
LOTS 1-3, BLOCK A

5.41 ACRES 235,559 S.F.

W.W. FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:
DAKOTA BREWER
CLAIRE BREWER
AUSTEN BREWER
SARA BREWER
626 CULLINS ROAD
ROCKWALL, TEXAS 75087

SYMBOL LEGEND									
TV	GAS	FEL	FP	FP					
TELEPHONE	WATER	WATER	WATER	WATER					
CABLE RISE	WATER	WATER	WATER	WATER					
(E)	(E)	(E)	(E)	(E)					
ELEC	ELEC	ELEC	ELEC	ELEC					
BIOS	BIOS	BIOS	BIOS	BIOS					
SURFACE	SURFACE	SURFACE	SURFACE	SURFACE					
ADJUSTED	ADJUSTED	ADJUSTED	ADJUSTED	ADJUSTED					
ADJUSTED	ADJUSTED	ADJUSTED	ADJUSTED	ADJUSTED					

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE NOVEMBER 29, 2022
SCALE 1" = 50' FILE # 20220159-FP
CLIENT BREWER

CITY CASE P2023-

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2023

PROJECT NUMBER: SP2023-032
PROJECT NAME: Site Plan for 855 Whitmore Drive
SITE ADDRESS/LOCATIONS: 855 WHITMORE DR

CASE CAPTION: Discuss and consider a request by Salvador Salcedo for the approval of a Site Plan for an Office/Warehouse Building on a 0.45-acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	09/21/2023	Needs Review

09/21/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Salvador Salcedo for the approval of a Site Plan for an Office/Warehouse Building on a 0.45-acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-032) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

I.4 All signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05, UDC)

I.5 The subject property will be required to be Final Plat, to establish any new lot lines and new easements.

M.6 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.7 Site Plan:

- (1) Please provide a numeric and graphic scale and a vicinity map. (Subsection 03.04. A, of Article 11, UDC)
- (2) Please provide the perimeter dimension of the subject property. (Subsection 03.04. A, of Article 11, UDC)
- (3) Please indicate the distance between the property lines and the proposed building. This should be from the directly adjacent property lines and not the property corners. (Subsection 03.04. A, of Article 11, UDC)
- (4) Please darken the lines for the building setbacks. They are currently difficult to see. (Subsection 03.04. B, of Article 11, UDC)
- (5) The building may not be greater than 50-feet from the rear property line. (Subsection 03.04. B, of Article 11, UDC)
- (6) Please indicate all easements. (Subsection 03.04. B, of Article 11, UDC)
- (7) Please indicate the drive/turning radii. (Subsection 03.04. B, of Article 11, UDC)
- (8) Please indicate the fire lane as "Fire Lane, Public Access, and Utility Easement." (Subsection 03.04. B, of Article 11, UDC)
- (9) Are there any existing or proposed fire hydrants? If so, please indicate them. (Subsection 03.04. B, of Article 11, UDC)
- (10) Please indicate the adjacent street Right-of-Way and centerline. (Subsection 03.04. B, of Article 11, UDC)
- (11) All parking space must be 9x20. Please correct the plans to reflect this. (Subsection 05.03, of Article 06, UDC)
- (12) Please provide a parking table that indicate the required parking. Parking for office is one (1) space per 300 SF and warehousing is one (1) space per 1,000 SF. (Subsection 05.03, of Article 06, UDC)
- (13) Please indicate the handicap parking spaces. (Subsection 05.03, of Article 06, UDC)
- (14) Are there any loading areas? If so, please indicate them. They must be 12x65 feet. (Subsection 06.04, of Article 06, UDC)
- (15) Please indicate the type and depth of all paving materials. (Subsection 03.02, of Article 06, UDC)
- (16) Is there an existing or proposed fencing. If so, please indicate the location, height, and material. (Subsection 08.02. F, of Article 08, UDC)
- (17) Please indicate any pad mounted utility equipment. In addition, all pad mounted equipment must be screened with 5-gallon evergreen shrubs. (Subsection 01.05. C, of Article 05, UDC)
- (18) Please indicate any RTUs by crosshatching them. RTUs must be fully screened by an enclosed parapet system (i.e. the parapet must go all around the building). (Subsection 01.05. C, of Article 05, UDC)
- (19) Is there a proposed dumpster? If so, please provide a dumpster detail that addresses the dumpster enclosure requirements, which are as follows. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes masonry materials and incorporates an opaque, self-latching gate. The enclosure must have 5-gallon evergreen shrubs planted around it. (Subsection 01.05. B, of Article 05, UDC)
- (20) If there are any off-street loading docks they must be fully screened from all adjacent properties and public Right-of-Way. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above. (Subsection 01.06, of Article 05, UDC)
- (21) Please provide a note that there shall be no outside storage. (Article 05, UDC)

M.8 Landscape Plan:

- (1) Please remove the requirements and details related to Ranch Trail from the landscape table. (Subsection 05.03. B, of Article 05, UDC)
- (2) Please delineate the 10-foot landscape buffer along Whitmore Drive. (Subsection 05.01, of Article 08, UDC)
- (3) The 10-foot landscape buffer must include one (1) canopy tree and one (1) accent tree per 50 linear feet, a row of 5-gallon shrubs (i.e. the shrubs should be continuous along the parking spaces to screen the headlights from the Right-of-Way), and a berm. (Subsection 05.01, of Article 08, UDC)
- (4) Provide a note that the irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08, UDC)

M.9 Treescap Plan:

- (1) Please provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced. Please refer to the Table 2 within Article 09 of the Unified Development Code. (Section 03, of Article 09, UDC)

M.10 Building Elevations:

- (1) Exterior walls should consist of 90% masonry materials excluding doors and windows. This will be an exception. (Subsection 05.01. A. 1. a. 1, of Article 05, UDC)
- (2) At least 20% natural or quarried stone shall be utilized on facades visible from the public Right-of-Way (i.e. the south, east, and west facades). This will be an exception. (Subsection 05.01. A. 1. a. 1, of Article 05, UDC)
- (3) A maximum of 10% secondary materials can be used on the building facades. In this case, 100% secondary material is being used. This will be an exception. (Subsection 05.01. A. 1. a. 1, of Article 05, UDC)
- (4) Each building shall incorporate accent brick or stone, or brick and stone patterns and materials that create contrast through color, shape, size, and/or texture to the planes of the primary brick or stone materials used on each building elevation. In this case, no brick or stone is being proposed. This will be an exception. (Subsection 05.01. A. 1. a. 1, of Article 05, UDC)

Article 05, UDC)

(5) The wall length requirement for the south façade facing Whitmore Drive states that walls shall not be longer than four (4) times the height of the wall. In this case, the south façade exceeds this requirement. This will be an exception. (Subsection 05.01. C. 1, of Article 05, UDC)

(6) The wall length requirement for the north, east, and west façades states that walls shall not be longer than three (3) times the height of the wall. In this case, the north, east, and west façades exceed this requirement. This will be an exception. (Subsection 05.01. C. 2, of Article 05, UDC)

(7) The roof pitch minimum for a building within the Light Industrial (LI) District is 6:12. In this case, the roof pitch is 3:12. This will be an exception. (Subsection 05.01, of Article 05, UDC)

I.11 Staff has identified the following exception(s) associated with the proposed request: [1] 90% masonry, [2] 20% stone, [3] primary articulation, [4] secondary articulation, [5] roof pitch, [6] 10% secondary material, and [7] accent brick and stone. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on October 3, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 10, 2023 Planning & Zoning Meeting.

I.14 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 26, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on October 10, 2023.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/19/2023	Approved w/ Comments

09/19/2023: 1. An 8" water main is available on the north side of the ROW. An 8" sewer main is available on the south side of the ROW. You will need to dry bore under Whitmore Drive to have access to this 8" sewer main.

2. Based on Existing Plat, there is a 7.5' Electric Easement along Whitmore Drive Frontage.

3. All parking must be 20'x9'.

4. Call out this existing 24' Fire Lane, Public Access, Drainage & Utility Easement.

5. Written approval of off-site improvements required from adjacent property owners.

6. Need an ADA parking space with pathway/crosswalk to the building. Show door locations. Provide a sidewalk adjacent to the building here.

7. You will need to complete the 24' drive aisle and connect to the adjacent property owner's drive aisle, or install a 44'x15' hammerhead/turnaround striped and signed as "No Parking"

8. Adjacent property must relocate dumpster out of access easement/path.

9. Existing drainage from west property flows through a swale. Drainage must be redirected with fully developed flows.

10. Plat shows an existing 20' drainage easement along the back of the property. Please show.

11. Based on Whitmore Dr. Municipal Industrial Park, Lot 8 Block A record drawings, detention will not be required for this site; however, you will need to ensure all site drainage drains to this 20' drainage easement and then ultimately to the existing detention pond located on Lot 11 to the east.

12. Trees can't block drainage swale.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- The property will need to be platted.

Drainage Items:

- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Dumpster areas/pads must drain to an oil/water separator.
- Ex. detention system volume and outfall will need to be for capacity and elevation.

Water and Wastewater Items:

- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements. Easement width based on size of line and depth.
- Required to show ex. and proposed water and sewer on site plan.
- Sanitary sewer service must be connected to a manhole.
- Sewer service crossing of Whitmore must be by bore.

Roadway Paving Items:

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/21/2023	Approved w/ Comments

09/21/2023: INDICATE ADA PARKING SPACE, PATHWAY ACROSS PARKING LOT AND WALKWAY TO THE BUILDING - COMPLYING WITH THE 2012 TEXAS ACCESSIBILITY STANDARDS - PARKING SPACE MUST BE THE NEAREST SPACE TO THE DOOR

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2023	Needs Review

09/20/2023: Show a proposed or existing fire hydrant that provides the required coverage for the building.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/18/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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No Comments

GENERAL PROJECT NOTES

- THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
- BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE DESIGNER IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS & OR SPECS.
- DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY ERRORS OR NEGLIGENCE MADE BY ROOFING CONTRACTOR, CONCERNING FLASHING & WATER PROOFING ON THIS PROJECT.
- THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS DESIGNER.
- THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING & OR WATERPROOFING.
- THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
- ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES.
- DESIGNER IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
- ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT, IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY. CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.
- THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
- VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
- IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE DESIGNER OR OWNER BEFORE PROCEEDING WITH THE WORK.
- ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
- WINDOW MANUFACTURER & BUILDER TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
- PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
- PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER.
- BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
- WEATHERSTRIP ATTIC ACCESS DOOR(S).
- CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.
- PROVIDE 1 S.F. NET FREE AREA OF ATTIC VENTILATION PER 150 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS PATIOS AND STUCCO WALLS
- PROVIDE WEATHERSEAL AND A 9 1/2" MASONRY DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.
- ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2x6 STUDS. IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2x6 STUDS THEY MUST BE BUILT WITH DOUBLE 2x4 STUDS AT 12" O.C.
- THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
- THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
- ALL FIREPLACES TO HAVE 20" DEEP HEARTH & 12" NON-COMBUSTIBLE SURROUND
- ALL OVERHANGS TO BE 18" FROM THE FRAME WALL UNLESS NOTED OTHERWISE.
- U.N.O. ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING.
- ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
- WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEER'S SPECIFICATIONS.
- THE DESIGN & SIZING OF ALL LOAD BEARING HEADERS, STRUCTURAL BEAMS AND TRUSSES IS THE RESPONSIBILITY OF THE AGENT (ENGINEER/TRUSS MANUFACTURER, ETC.) CHOSEN BY THE BUILDER/OWNER TO DO SAID DESIGN.
- ALL PLUMBING, APPLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.
- CHIMNEY/FLUE SHOWN AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAW FOR FIREPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.
- CHIMNEY CAP TO BE BUILT WITH NON COMBUSTIBLE MATERIALS.
- LAVATORIES AND SINKS SHOWN ARE NOT ACTUAL FIXTURE. CHECK WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
- APPLIANCE DIMENSION EXACT DIMENSIONS.
- PROVIDE VENT HOLES IN-CABINET COMPUTER
- TOP & SPLASH MATERIAL
- CROWN MOLDING, INTERIOR TILE SHOWN TO BE PER
- ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
- ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT. AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
- COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
- PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST.
- SUPPLY 220v & 110v OR GAS & 110v TO HVAC UNIT(S) IN ATTIC. (REFER TO SPECS) PROVIDE POWER AS REQD. AT A/C COMPRESSOR UNITS.
- PROVIDE FOR LIGHT NEAR HVAC UNIT(S) IN ATTIC.
- PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
- SMOKE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL SMOKE DETECTORS SHALL BE HARD WIRED TO PRIMARY ELECTRICAL SERVICES WITH BATTERY BACKUP.
- ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL BUILDING CODES.
- ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE FROM FACE OF STUDS AND/OR STONE VENEER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL NOTIFY DESIGNER UPON DISCOVERY OF ANY ERRORS OR DISCREPANCY OF DIMENSIONS, CLEARANCES, OR OTHER ITEMS AS SHOWN OR NOTED IN THESE DRAWINGS.
- COORDINATE ALL WINDOW SIZES AND LOCATIONS AS NOTED ON FLOOR PLAN WITH SELECTED ELEVATION OPTIONS.
- HVAC SYSTEM SHALL BE DESIGNED BY MECHANICAL SUB-CONTRACTOR AND APPROVED BY DESIGNER OR GENERAL CONTRACTOR. SYSTEM SHALL HAVE A S.E.E.R. RATING OF 14 OR AS REQUIRED BY LOCAL BUILDING CODES. UNITS SHALL BE DESIGNED WITH TWO ZONES AS DIRECTED BY CONTRACTOR. PROVIDE ALL SUCTION LINES FROM UNITS TO EXTERIOR CONDENSOR UNITS AS INDICATED ON SITE PLAN. PROVIDE 4" THICK CONCRETE PADS WITH 6x6x10 WWF REINFORCING. LOCATE AIR HANDLING UNITS IN ATTIC SPACE NEAR RETURN AIR CHASES AS INDICATED ON THE FLOOR PLAN.

Based on Whitmore Dr. Municipal Industrial Park, Lot 8 Block A record drawings, detention will not be required for this site; however, you will need to ensure all site drainage drains to this 20' drainage easement and then ultimately to the existing detention pond located on Lot 11 to the east.

Plat shows an existing 20' drainage easement along the back of the property. Please show.

Existing drainage from west property flows through a swale. Drainage must be redirected with fully developed flows.

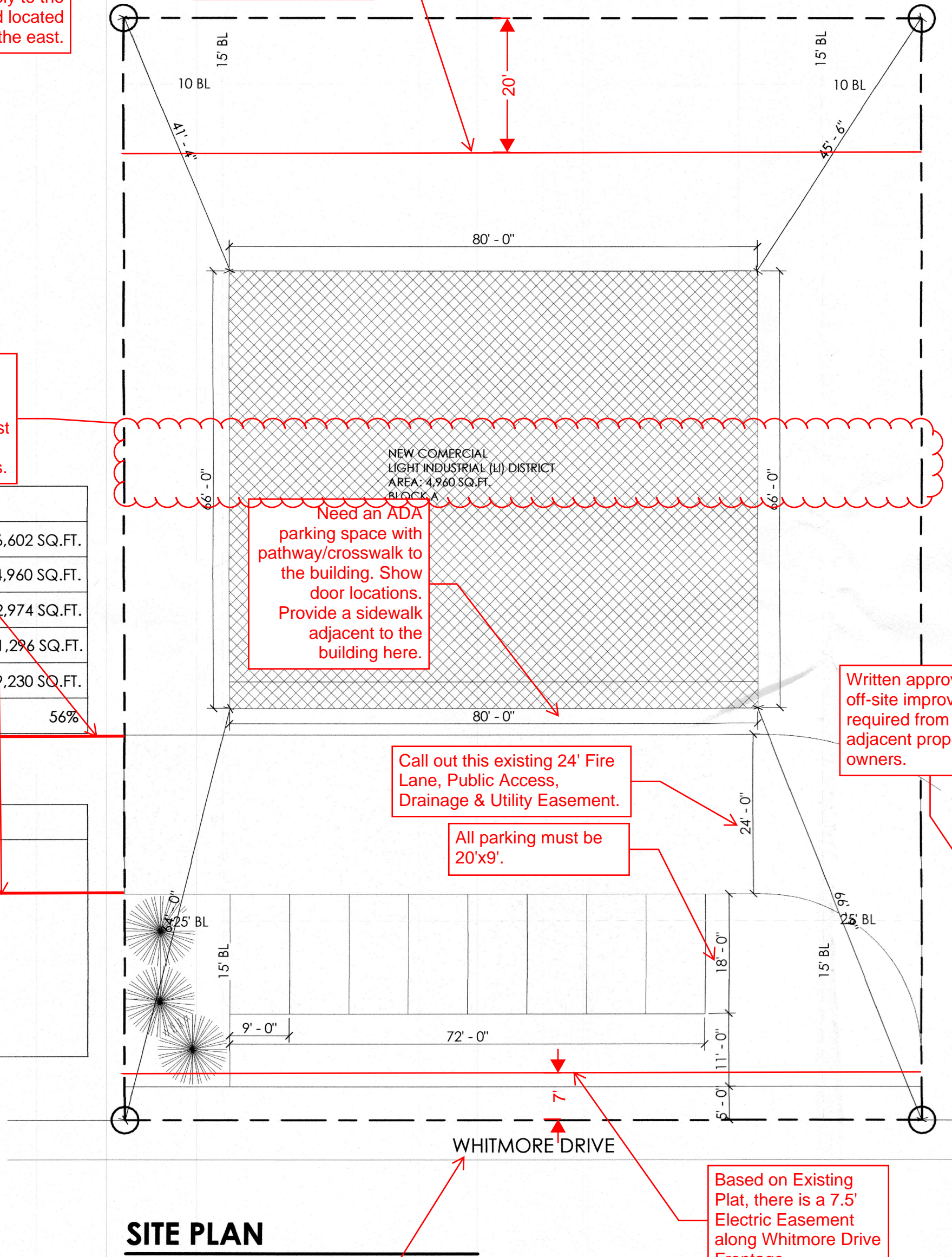
Adjacent property must relocate dumpster out of easement/path.

PLANT DATE	AREA
SI	16,602 SQ.FT.
BU	4,960 SQ.FT.
DI	2,974 SQ.FT.
PA	1,296 SQ.FT.
TC	9,230 SQ.FT.
C	56%

USE OF STRUCTURE

CONSTRUCTION TYPE: LI
 LIGHT INDUSTRIAL
 NO. STORIES: ONE
 HEIGHT: 60' 0"
 SETBACKS
 FRONT: 25' 0"
 SIDE: 15' 0"
 REAR: 10' 0"
 MAX. LOT COVERAGE: 60%

SITE PLAN



Need an ADA parking space with pathway/crosswalk to the building. Show door locations. Provide a sidewalk adjacent to the building here.

Call out this existing 24' Fire Lane, Public Access, Drainage & Utility Easement.

All parking must be 20'x9'.

Written approval of off-site improvements required from adjacent property owners.

Based on Existing Plat, there is a 7.5' Electric Easement along Whitmore Drive Frontage.

An 8" water main is available on the north side of the ROW. An 8" sewer main is available on the south side of the ROW. You will need to dry bore under Whitmore Drive to have access to this 8" sewer main.

- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
 - The property will need to be platted.

- Drainage Items:**
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
 - No grate inlets allowed
 - Dumpster areas/pads must drain to an oil/water separator.
 - Ex. detention system volume and outfall will need to be for capacity and elevation.

- Water and Wastewater Items:**
- Show existing/proposed utility lines (Water, Sewer, etc.)
 - Public sewer to be 8" minimum.
 - Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Min 20' utility easements. Easement width based on size of line and depth.
 - Required to show ex. and proposed water and sewer on site plan.
 - Sanitary sewer service must be connected to a manhole.
 - Sewer service crossing of Whitmore must be by bore.

- Roadway Paving Items:**
- Fire lane to be 24' wide and in a platted easement.
 - No dead-end parking.
 - Parking to be 20'x9' min.
 - Sidewalk required along public roadways.

- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN)
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +10. OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO US AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALES.
 - ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO ALIS AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALES.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALK AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 19" AWAY FROM THE WALKS.
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH EMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES: PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS, OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 50 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

IRRIGATION CONCEPT

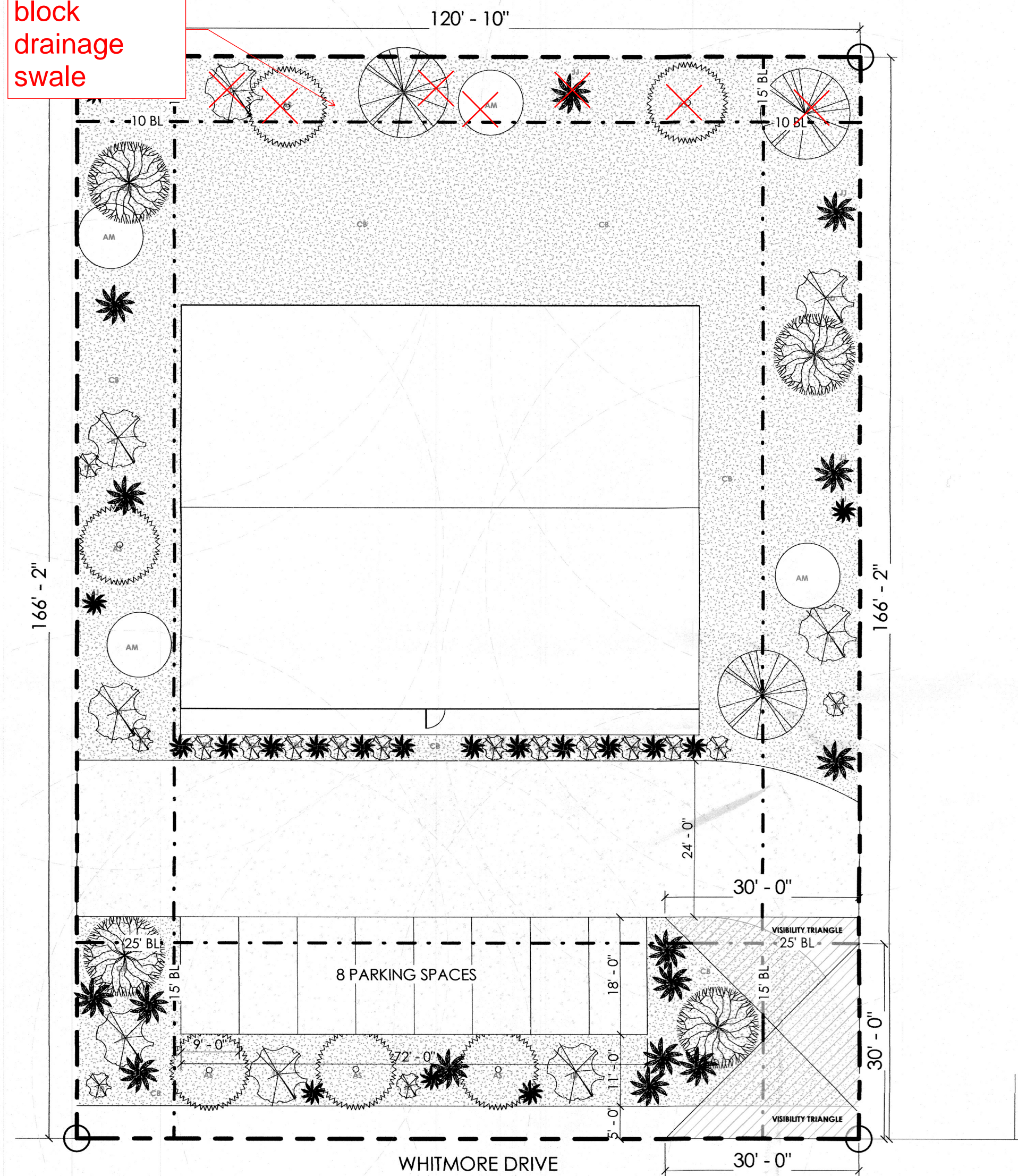
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
- ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

LANDSCAPE STANDARDS	
05.02 LANDSCAPE REQUIREMENTS LIGHT INDUSTRIAL (LI) DISTRICT.	
TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	216,602 SQ.FT. 2,490 SQ.FT. (1.15%) 9,924 SQ.FT. (59%)
LOCATION OF LANDSCAPING:	A MINIMUM OF 100% OF THE TOTAL REQUIRED LANDSCAPING SHALL BE LOCATED IN FRONT OF AND ALONG THE SIDE OF BUILDINGS WITH STREET FRONTS 2,490 SQ.FT. X 100% = 2,490 SQ.FT.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	9,061 SQ.FT. (36%)
MIN. SIZE OF AREAS	ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN FIVE (5) FEET WIDE AND BE A MINIMUM OF 25 SF IN AREA UNLESS IT IS WITHIN TEN (10) FEET OF A BUILDING ON THE SAME LOT.
DETENTION BASIN:	DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUND COVER, GRASSES, SHRUBS, BERMS, AND ACCENT AND CANOPY TREES. THERE SHALL BE A MINIMUM OF ONE (1) CANOPY TREE PER 750 SF AND ONE (1) ACCENT TREE PER 1,500 SF OF DETENTION AREA.
PROPOSED DETENTION BASIN: CANOPY TREES REQUIRED: ACCENT TREES REQUIRED: ACCENT TREES PROVIDED:	2,250 SQ. FT. 2,250 SQ. FT. / 750 SQ. FT. = 3 CANOPY TREE 3 CANOPY TREE 2,250 SQ. FT. / 1,500 SQ. FT. = 2 ACCENT TREE 2 ACCENT TREE
PARKING LOT LANDSCAPING	PARKING LOTS WITH MORE THAN TWO (2) ROWS OF PARKING SPACES (IE ONE (1) DRIVE ISLE WITH ROWS OF PARKING ON EITHER SIDE) SHALL HAVE A MINIMUM FOR FIVE (5%) PERCENT OR 200 SF OF LANDSCAPING - WHICHEVER IS GREATER - IN THE INTERIOR OF THE PARKING LOT AREA. SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL REQUIRED LANDSCAPING.
PROPOSED PARKING AREA: REQ. PARKING AREA LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING:	1,246 SQ. FT. 60 SQ. FT. OR 200 SQ. FT. 1,400 SQ. FT.
PARKING SPACES:	(1) LARGE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE REQUIRED TO BE PLANTED INTERNAL TO THE PARKING AREAS. (3) NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO THE EDGE OF PAVEMENT
TREES REQUIRED: TREES PROVIDED:	1 LARGE CANOPY TREE 2 LARGE CANOPY TREE
05.02 LANDSCAPE BUFFERS - NON-RESIDENTIAL	
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	INDUSTRIAL/OFFICE/TECHNOLOGY LAND USES: 50-FOOT ALL LANDSCAPE BUFFERS SHALL INCORPORATE GROUND COVER, A BUILD-UP BERM AND SHRUBBERY OR A COMBINATION THEREOF ALONG THE ENTIRE LENGTH OF THE FRONTAGE. BERMS AND SHRUBBERY SHALL EACH HAVE MINIMUM HEIGHT OF 30-INCHES AND A MAXIMUM HEIGHT OF 48-INCHES. IN ADDITION: TWO (2) CANOPY TREES FOUR (4) ACCENT TREES SHALL BE PLANTED PER 100-FOOT OF LINEAR FRONTAGE ALONG THE PRIMARY ROADWAY.
RANCH TRAIL: 420' STREET FRONTAGE REQUIRED PLANTING: PROVIDED 10' BUFFER: SHRUBS	
BASED ON CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE	

PLANT SCHEDULE

CODE	TREES	QTY	BOTANICAL / COMMON NAME	CAL	CONT.	SIZE
QB		4	QUERCUS MACROCARPA / BUR OAK	4" CAL	CONT.	14' MIN
AM		4	ACER SACCHARUM 'CADD0' / CADD0 MAPLE	4" CAL	CONT.	12' MIN
PA		3	PINUS ELДАРICA / AFGHAN PINE	4" CAL	CONT.	12' MIN
AS		6	ACER TRUNCATUM / SHANTUNG MAPLE	4" CAL	CONT.	12' MIN
CODE	SHRUBS	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
ID		16	ILEX VOMITORIA 'NANA' / DWARF YAUPON HOLLY	5 GAL.	36" OC	24" MIN
JJ		33	JUNIPERUS SP. / JUNIPER	5 GAL.	36" OC	24" MIN
CODE	GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
CB		9,924 SQ.FT.	CYNODON DACTYLON / BERMUDA GRASS	SOND		

Trees can't block drainage swale



LANDSCAPE PLAN

3/32" = 1' 0"

SITE PLANE DATE	
SIZE OF LOT	16,602 SQ.FT.
BUILDING	4,960 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,490 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	9,924 SQ.FT. (59%)
DRIVEWAY	2,974 SQ.FT.
PARKING	1,296 SQ.FT.
TOTAL COVERED AREA	9,230 SQ.FT.
COVERAGE PERCENT	56%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO
NOVA AIR LLC

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC
33 09 ELM ST # 250, Dallas Texas, 75228
www.gammagroup-usa.com
(469)-583-7174 & (469)-463-2761

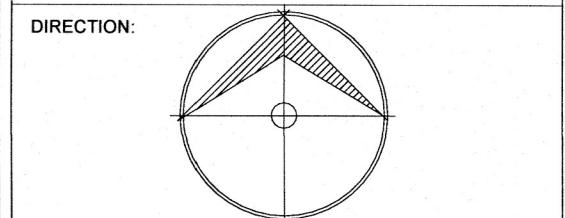
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ENGINEERING GENERAL NOTES
GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM, WE DO NOT QUALIFY TO BE ONE, NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE:
GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IT IS THE RESPONSIBILITY OF PURCHASER, OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:
1. BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
2. BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
13. PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

CONTRACTOR NOTES
THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.



REV. NO.	DATE	COMMENTS

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: LANDSCAPE PLANTING PLAN

DATE: 09/08/2023
DRAW BY: F.G.M
SHEET 03 OF 08

LP1



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 855 Whitmore

SUBDIVISION _____

LOT 10

BLOCK A

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE _____

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE _____

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Salvador Salcedo

APPLICANT Salvador Salcedo

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS 210 Cedar Tree Ln

ADDRESS 210 Cedar Tree Ln

CITY, STATE & ZIP Heath Tx 75032

CITY, STATE & ZIP Heath Tx 75032

PHONE 214 552 2008

PHONE 214 552 2008

E-MAIL salvasalce@novaairac.com

E-MAIL salvasalce@novaairac.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Salvador Salcedo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 210.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF September, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF September, 2023

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____



Theresa L. Moss
Notary ID #130926177
My Commission Expires
December 8, 2024

MY COMMISSION EXPIRES 12-08-2024

0 15 30 60 90 120 Feet

SP2023-032: Site Plan for 855 Whitmore Drive



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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GENERAL PROJECT NOTES

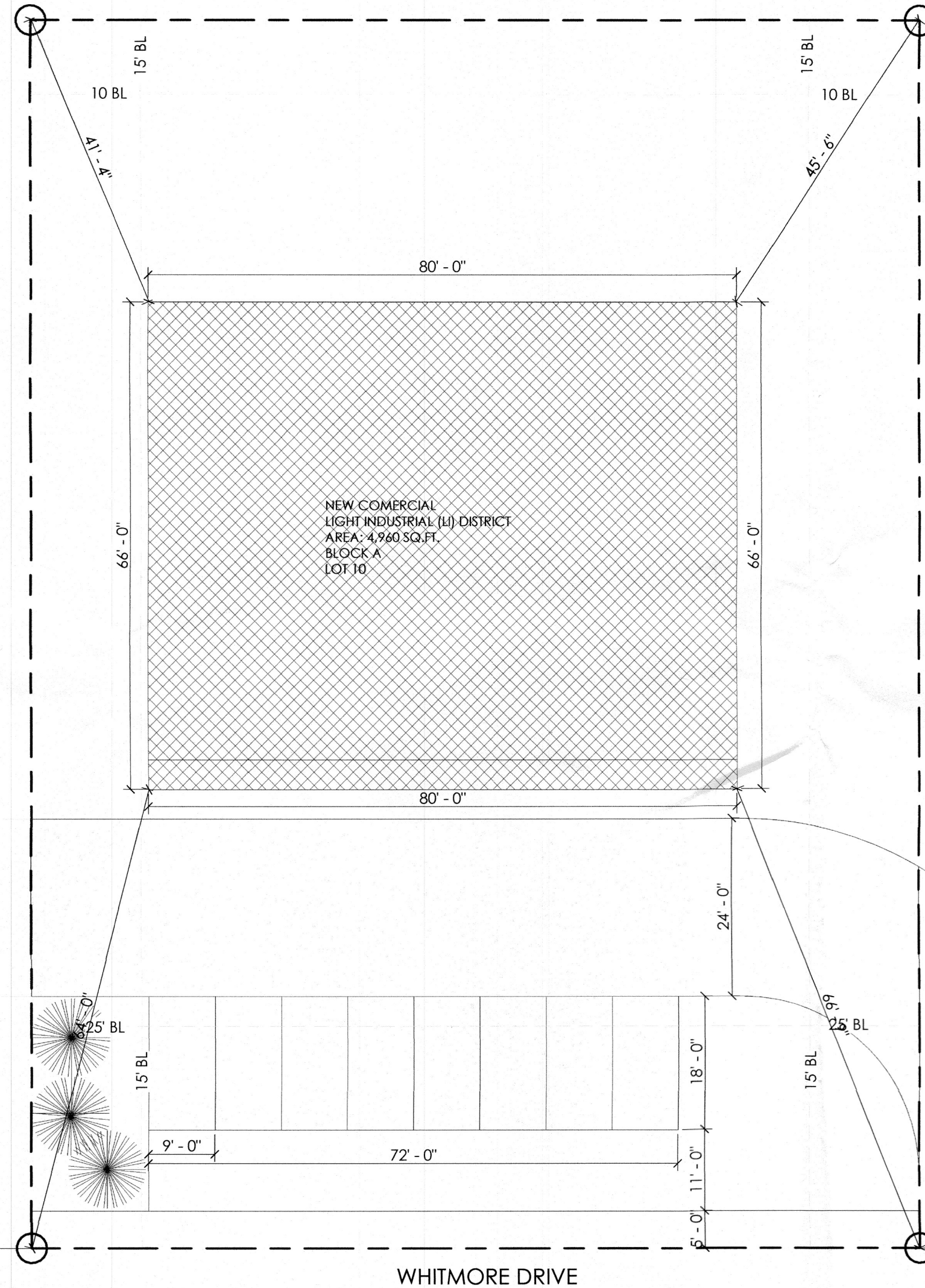
1. THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
2. ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
3. BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
4. WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE DESIGNER IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS & OR SPECS.
5. DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY ERRORS OR NEGLIGENCE MADE BY ROOFING CONTRACTOR, CONCERNING FLASHING & WATER PROOFING ON THIS PROJECT.
6. THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS DESIGNER.
7. THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.
8. THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
9. ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURERS' RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES.
10. DESIGNER IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
11. ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT, IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY. CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
12. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
13. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
14. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
15. ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.
16. THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
17. THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
18. VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
19. IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE DESIGNER OR OWNER BEFORE PROCEEDING WITH THE WORK.
20. ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
21. WINDOW MANUFACTURER & BUILDER TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
22. PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
23. PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER. BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
24. WEATHERSTRIP ATTIC ACCESS DOOR(S).
25. CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS. PROVIDE 1 S.F. NET FREE AREA OF ATTIC VENTILATION PER 150 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE.
26. PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS PATIOS AND STUCCO WALLS
27. PROVIDE WEATHERSEAL AND A 9 1/2" MASONRY DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.
28. ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2x6 STUDS. IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2x6 STUDS THEY MUST BE BUILT WITH DOUBLE 2x4 STUDS AT 12" O.C.
29. THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP. THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
30. PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
31. ALL FIREPLACES TO HAVE 20" DEEP HEARTH & 12" NON-COMBUSTIBLE SURROUND.
32. ALL OVERHANGS TO BE 18" FROM THE FRAMEWALL UNLESS NOTED OTHERWISE.
33. U.N.O. ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING.
34. ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
35. WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEER'S SPECIFICATIONS.
36. THE DESIGN & SIZING OF ALL LOAD BEARING HEADERS, STRUCTURAL BEAMS AND TRUSSES IS THE RESPONSIBILITY OF THE AGENT (ENGINEER/TRUSS MANUFACTURER, ETC.) CHOSEN BY THE BUILDER/OWNER TO DO SAID DESIGN.
37. ALL PLUMBING, APPLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.
38. CHIMNEY/FLUE SHOWN AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAW FOR FIREPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.
39. CHIMNEY CAP TO BE BUILT WITH NON COMBUSTIBLE MATERIALS.
40. LAVATORIES AND SINKS SHOWN ARE NOT ACTUAL FIXTURE. CHECK WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
41. APPLIANCE DIMENSIONS MAY VARY. CHECK WITH BUILDER FOR EXACT DIMENSIONS.
42. PROVIDE VENT HOLES AS REQUIRED FOR AIR CIRCULATION OF IN-CABINET COMPUTER EQUIPMENT.
43. TOP & SPLASH MATERIAL AT ALL CABINETS TO BE AS PER SPECS.
44. CROWN MOLDING, INTERIOR WINDOW/DOOR TRIM, BASEBOARD & TILE SHOWN TO BE PER OWNER &/OR INTERIOR DESIGNER.
45. ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
46. ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.
47. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT. AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
48. COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
49. PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST.
50. SUPPLY 220v & 110v OR GAS & 110v TO HVAC UNIT(S) IN ATTIC. (REFER TO SPECS) PROVIDE POWER AS REQD. AT A/C COMPRESSOR UNITS.
51. PROVIDE FOR LIGHT NEAR HVAC UNIT(S) IN ATTIC.
52. PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
53. SMOKE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL SMOKE DETECTORS SHALL BE HARD WIRED TO PRIMARY ELECTRICAL SERVICES WITH BATTERY BACKUP.
54. ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL BUILDING CODES.
55. ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE FROM FACE OF STUDS AND/ OR STONE VENEER UNLESS OTHERWISE NOTED.
56. CONTRACTOR SHALL NOTIFY DESIGNER UPON DISCOVERY OF ANY ERRORS OR DISCREPANCY OF DIMENSIONS, CLEARANCES, OR OTHER ITEMS AS SHOWN OR NOTED IN THESE DRAWINGS.
57. COORDINATE ALL WINDOW SIZES AND LOCATIONS AS NOTED ON FLOOR PLAN WITH SELECTED ELEVATION OPTIONS.
58. HVAC SYSTEM SHALL BE DESIGNED BY MECHANICAL SUB-CONTRACTOR AND APPROVED BY DESIGNER OR GENERAL CONTRACTOR. SYSTEM SHALL HAVE A S.E.E.R. RATING OF 14 OR AS REQUIRED BY LOCAL BUILDING CODES. UNITS SHALL BE DESIGNED WITH TWO ZONES AS DIRECTED BY CONTRACTOR. PROVIDE ALL SUCTION LINES FROM UNITS TO EXTERIOR CONDENSOR UNITS AS INDICATED ON SITE PLAN. PROVIDE 4" THICK CONCRETE PADS WITH 6x6x10 WWF REINFORCING. LOCATE AIR HANDLING UNITS IN ATTIC SPACE NEAR RETURN AIR CHASES AS INDICATED ON THE FLOOR PLAN.

PLANE DATE

SIZE OF LOT	16,602 SQ.FT.
BUILDING	4,960 SQ.FT.
DRIVEWAY	2,974 SQ.FT.
PARKING	1,296 SQ.FT.
TOTAL COVERED AREA	9,230 SQ.FT.
COVERAGE PERCENT	56%

USE OF STRUCTURE

CONSTRUCTION TYPE: LI
LIGHT INDUSTRIAL
NO. STORIES: ONE
HEIGHT: 60' 0"
SETBACKS
FRONT: 25' 0"
SIDE: 15' 0"
REAR: 10' 0"
MAX. LOT COVERAGE: 60%



SITE PLAN

3/32" = 1' 0"

PROJECT:
NEW COMERCIAL
 AIR CONDITIONING EQUIPMENT STORAGE

OWNER:
SALVADOR SALCEDO
 NOVA AIR LLC

LOCATION:
855 WHITMORE DRIVE,
ROCKWALL, TX



Gamma Group, Design & Construction LLC
 33 09 ELM ST # 250, Dallas Texas, 75228
 www.gammagroup-usa.com
(469)-583-7174 & (469)-463-2761

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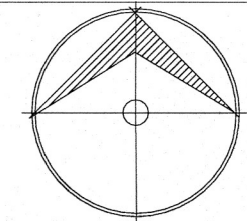
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LEGEND

CM	CONTROLLING MONUMENT	□	CONCRETE
○	5/8" IRON ROD FOUND	▣	BUILDING
⊗	"X" FOUND IN CONCRETE	▤	PORCH, DECK, ETC.
○	POINT FOR CORNER	⊕	OVERHEAD TELEPHONE
⊕	FIBER OPTIC PEDESTAL	⊖	OVERHEAD ELECTRIC
○	POWER POLE	—	PIPE FENCE
A / C	AIR CONDITIONING	—	METAL FENCE
⊕	WATER METER	—	WOOD FENCE
⊕	TELE. MANHOLE	⊕	SANITARY SEWER MANHOLE
⊕	TELE. VAULT	⊕	STORM DRAIN MANHOLE
⊕	VACUUM	⊕	HANDICAP PARKING
⊕	LIGHT POLE	⊕	ELECTRIC BOX
⊕	UNDERGROUND ELECTRIC	⊕	CLEANOUT
⊕	FIRE HYDRANT	⊕	TELEPHONE PEDESTAL
⊕	GAS METER	⊕	CABLE PEDESTAL
⊕	WATER VALVE	⊕	GRAVEL

DIRECTION:



REV. NO.	DATE	COMMENTS

EXPIRATION DATE:

PAPER SIZE 36X24

PLAN:

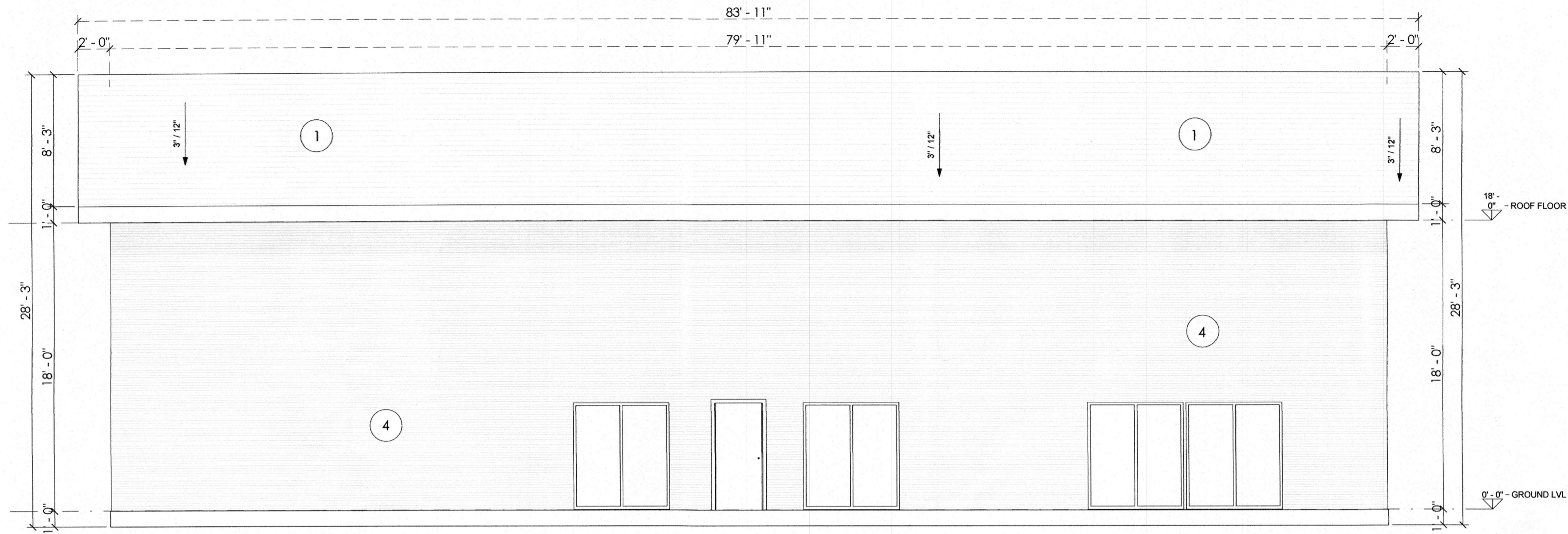
SITE PLAN

DATE: **09/08/2023**

DRAWN BY:
 F.G.M

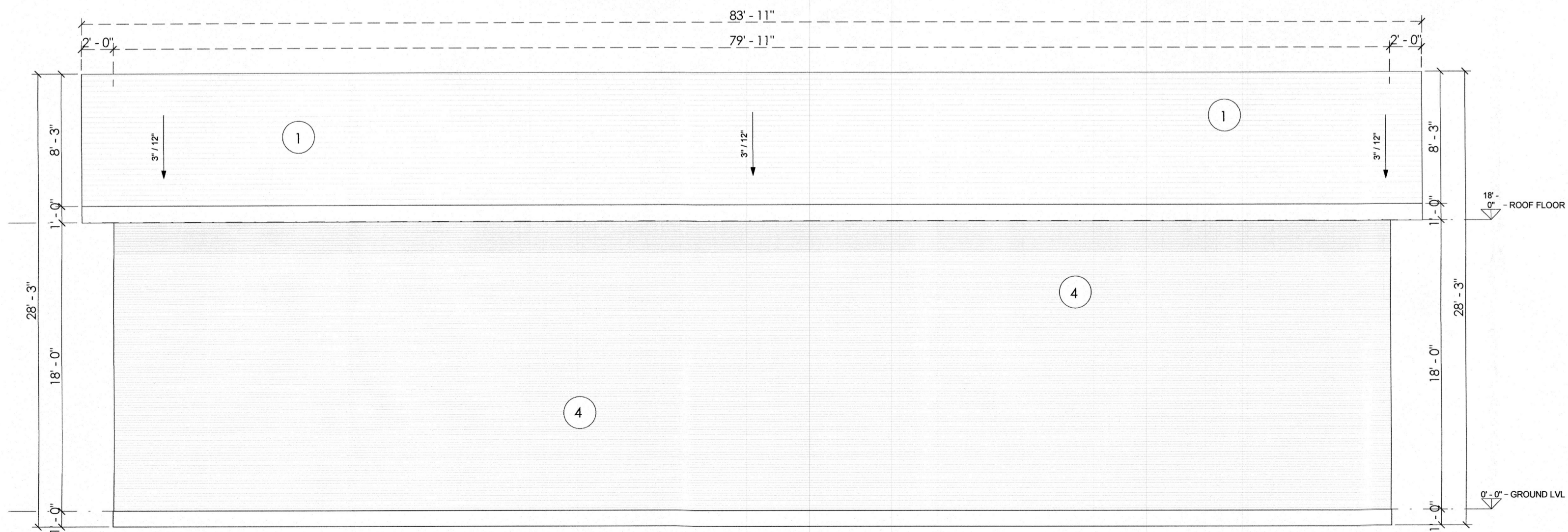
A1

SHEET **02** OF **08**



FRONT ELEVATION

1/4" = 1' 0"




REAR ELEVATION

1/4" = 1' 0"

PROJECT:
NEW COMERCIAL
AIR CONDITIONING EQUIPMENT STORAGE

OWNER:
SALVADOR SALCEDO
NOVA AIR LLC

LOCATION:
855 WHITMORE DRIVE,
ROCKWALL, TX



Gamma Group, Design & Construction LLC
33 09 ELM ST # 250, Dallas Texas, 75228
www.gammagroup-usa.com
(469)-583-7174 & (469)-463-2761

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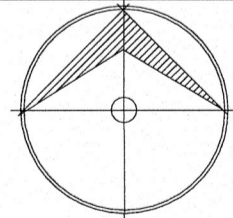
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MATERIALS	
SYMBOL	SPECIFICATION
1	METAL STANDING SEAM
2	STONE
3	STUCCO
4	COMMERCIAL SIDING
5	WOOD
6	GLASS
7	STEEL
8	ASPHALT SHINGLES
9	BRICK

DIRECTION:



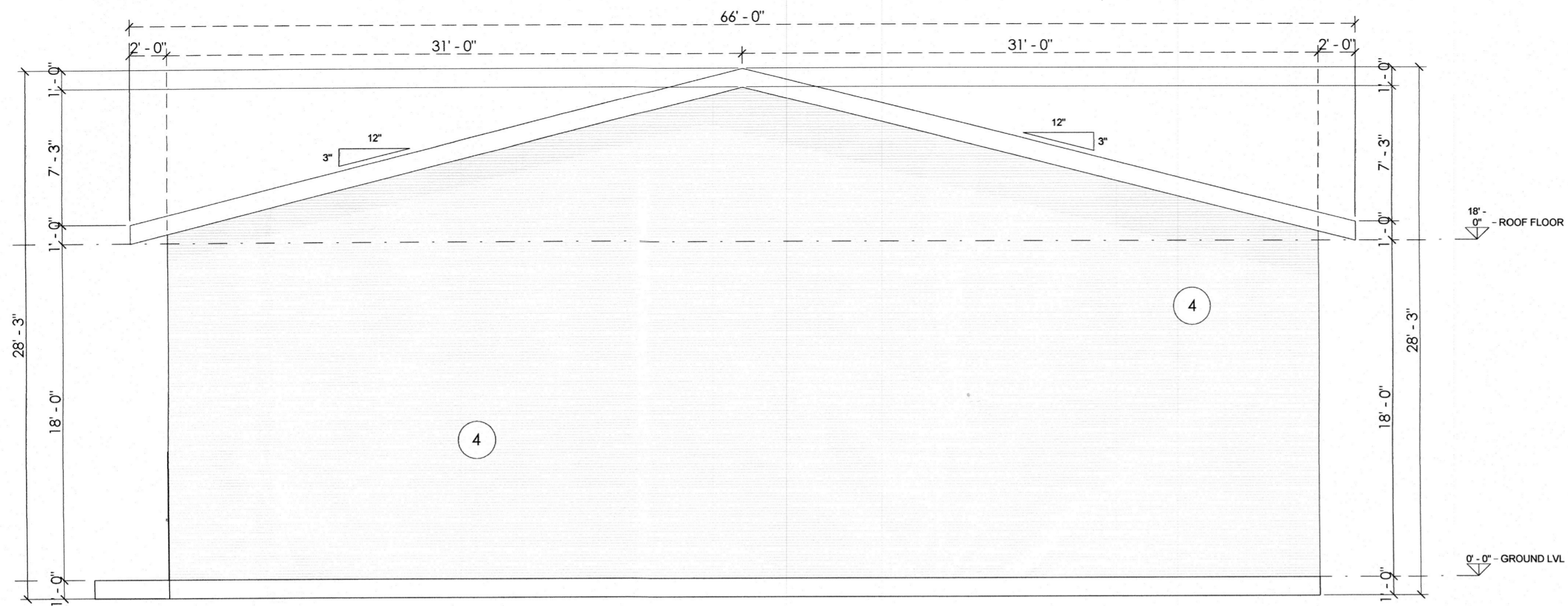
REV. NO.	DATE	COMMENTS

EXPIRATION DATE:
PAPER SIZE 36X24

PLAN:
ELEVATIONS

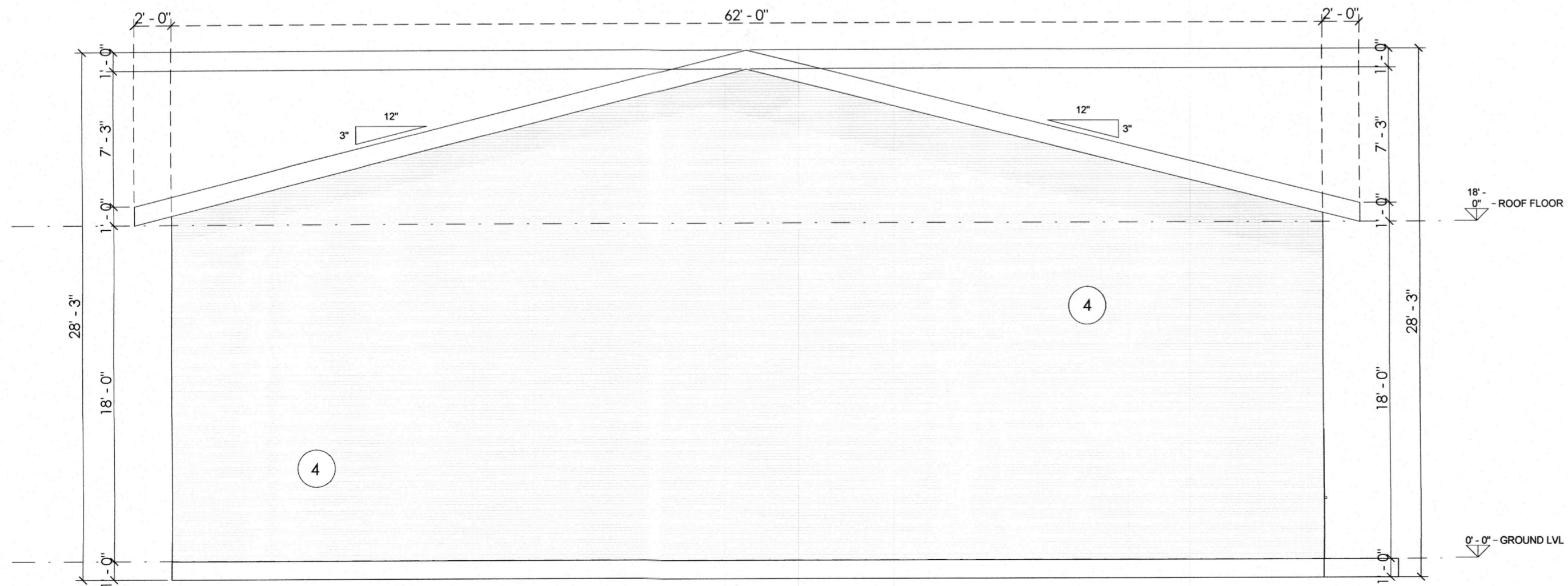
DATE: 09/08/2023
DRAWN BY: F.G.M.

A3
SHEET 07 OF 08



1/4" = 1' 0"

ELEVATION



1/4" = 1' 0"

ELEVATION

PROJECT: **NEW COMERCIAL**
AIR CONDITIONING EQUIPMENT STORAGE

OWNER: **SALVADOR SALCEDO**
NOVA AIR LLC

LOCATION: **855 WHITMORE DRIVE,**
ROCKWALL, TX



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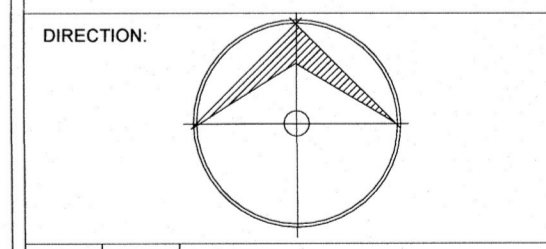
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REV. NO.	DATE	COMMENTS

EXPIRATION DATE:
PAPER SIZE 36X24

PLAN:
ELEVATIONS

DATE: **09/08/2023**
DRAW BY: **F.G.M**

A3.1
SHEET **08** OF **08**

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN)
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +10. OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO US AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALES.
 - ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO ALIS AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALES.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALK AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 19" AWAY FROM THE WALKS.
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH MATTERS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 - ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E.G. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.)
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES: PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 50 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

IRRIGATION CONCEPT

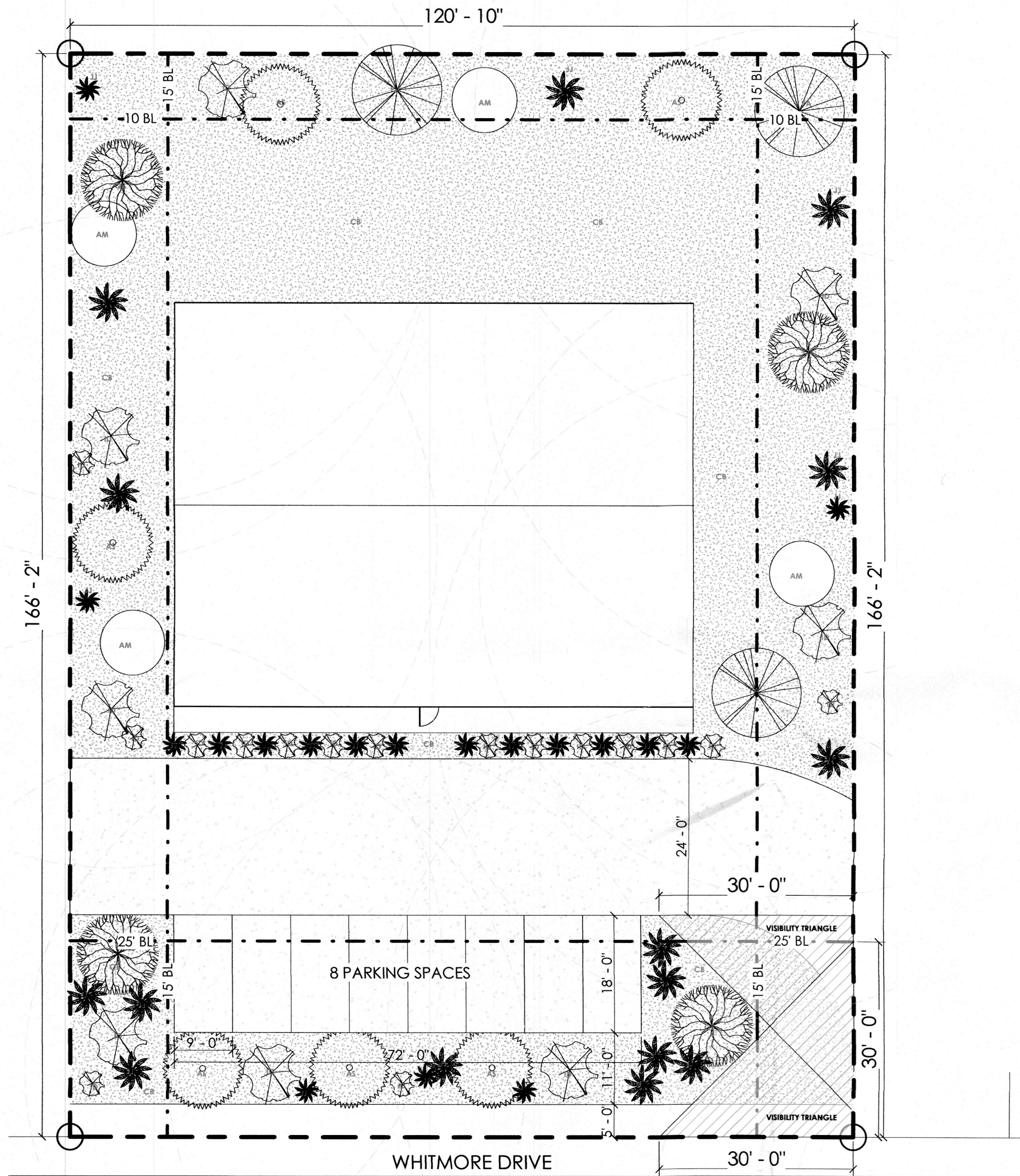
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
- ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

LANDSCAPE STANDARDS

05.02 LANDSCAPE REQUIREMENTS LIGHT INDUSTRIAL (L) DISTRICT.	
TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	316,602 SQ. FT. 2,490 SQ. FT. (15%) 9,924 SQ. FT. (59%)
LOCATION OF LANDSCAPING:	A MINIMUM OF 100% OF THE TOTAL REQUIRED LANDSCAPING SHALL BE LOCATED IN FRONT OF AND ALONG THE SIDE OF BUILDINGS WITH STREET FRONTS 2,490 SQ. FT. X 100% = 2,490 SQ. FT.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	9,061 SQ. FT. (36%)
MIN. SIZE OF AREAS	ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN FIVE (5) FEET WIDE AND BE A MINIMUM OF 25 SF IN AREA UNLESS IT IS WITHIN TEN (10) FEET OF A BUILDING ON THE SAME LOT.
DETENTION BASIN:	DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUND COVER, GRASSES, SHRUBS, BERMS, AND ACCENT AND CANOPY TREES. THERE SHALL BE A MINIMUM OF ONE (1) CANOPY TREE PER 750 SF AND ONE (1) ACCENT TREE PER 1,500 SF OF DETENTION AREA.
PROPOSED DETENTION BASIN: CANOPY TREES REQUIRED: ACCENT TREES REQUIRED:	2,250 SQ. FT. 2,250 SQ. FT. / 750 SQ. FT. = 3 CANOPY TREE 3 CANOPY TREE 2,250 SQ. FT. / 1,500 SQ. FT. = 2 ACCENT TREE 2 ACCENT TREE
PARKING LOT LANDSCAPING	PARKING LOTS WITH MORE THAN TWO (2) ROWS OF PARKING SPACES (E.G. ONE (1) DRIVE ISLE WITH ROWS OF PARKING ON EITHER SIDE) SHALL HAVE A MINIMUM FOR FIVE (5) PERCENT OR 200 SF OF LANDSCAPING - WHICHEVER IS GREATER - IN THE INTERIOR OF THE PARKING LOT AREA. SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL REQUIRED LANDSCAPING.
PROPOSED PARKING AREA: REQ. PARKING AREA LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING:	1,246 SQ. FT. 60 SQ. FT. OR 200 SQ. FT. 1,400 SQ. FT.
PARKING SPACES:	(1) LARGE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE REQUIRED TO BE PLANTED INTERNAL TO THE PARKING AREAS. (3) NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO THE EDGE OF PAVEMENT
TREES REQUIRED: TREES PROVIDED:	1 LARGE CANOPY TREE 2 LARGE CANOPY TREE
05.02 LANDSCAPE BUFFERS - NON-RESIDENTIAL	INDUSTRIAL/OFFICE/TECHNOLOGY LAND USES: 50-FOOT ALL LANDSCAPE BUFFERS SHALL INCORPORATE GROUND COVER, A BUILT-UP BERM AND SHRUBBERY OR A COMBINATION THEREOF ALONG THE ENTIRE LENGTH OF THE FRONTAGE. BERMS AND SHRUBBERY SHALL EACH HAVE MINIMUM HEIGHT OF 30-INCHES AND A MAXIMUM HEIGHT OF 48-INCHES. IN ADDITION: TWO (2) CANOPY TREES FOUR (4) ACCENT TREES SHALL BE PLANTED PER 100-FOOT OF LINEAR FRONTAGE ALONG THE PRIMARY ROADWAY.
RANCH TRAIL: 420' STREET FRONTAGE REQUIRED PLANTING: PROVIDED 10' BUFFER: SHRUBS	
BASED ON CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE	

PLANT SCHEDULE

CODE	TREES	QTY	BOTANICAL / COMMON NAME	CAL	CONT.	SIZE
QB		4	QUERCUS MACROCARPA / BUR OAK	4" CAL	CONT.	14' MIN
AM		4	ACER SACCHARUM 'CADD0' / CADD0 MAPLE	4" CAL	CONT.	12' MIN
PA		3	PINUS ELДАРICA / AFGHAN PINE	4" CAL	CONT.	12' MIN
AS		6	ACER TRUNCATUM / SHANTUNG MAPLE	4" CAL	CONT.	12' MIN
CODE	SHRUBS	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
ID		16	ILEX VOMITORIA 'NANA' / DWARF YAUPON HOLLY	5 GAL.	36" OC	24" MIN
JJ		33	JUNIPERUS SP. / JUNIPER	5 GAL.	36" OC	24" MIN
CODE	GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
CB		9,924 SQ. FT.	CYNODON DACTYLON / BERMUDA GRASS	SOND		



LANDSCAPE PLAN

3/32" = 1' 0"

SITE PLANE DATE	
SIZE OF LOT	16,602 SQ. FT.
BUILDING	4,960 SQ. FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,490 SQ. FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	9,924 SQ. FT. (59%)
DRIVEWAY	2,974 SQ. FT.
PARKING	1,296 SQ. FT.
TOTAL COVERED AREA	9,230 SQ. FT.
COVERAGE PERCENT	56%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO
NOVA AIR LLC

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



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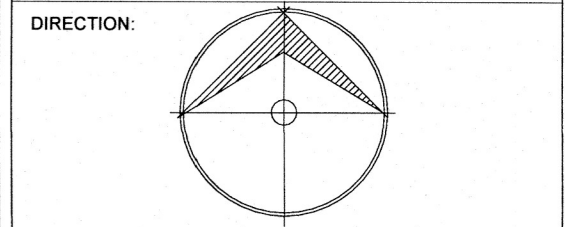
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2. BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
3. PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

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REV. NO.	DATE	COMMENTS

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: LANDSCAPE PLANTING PLAN

DATE: 09/08/2023
DRAW BY: F.G.M
SHEET 03 OF 08

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TREE PROTECTION SPECIFICATIONS

MATERIALS

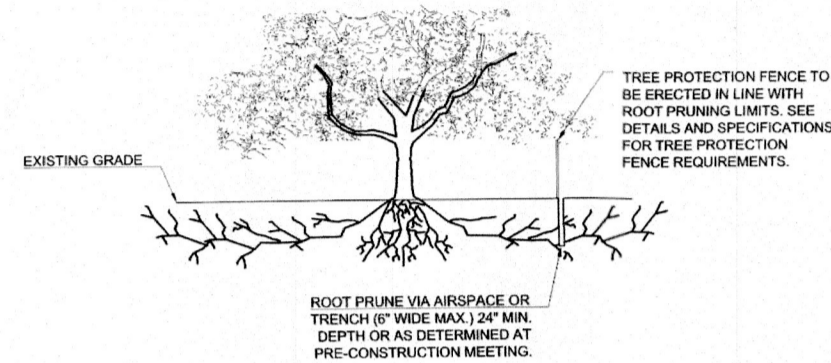
- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T-SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ) EQUAL TO FROM THE TRUNK FOR EVERY 1° OF DEH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY 5 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ.
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING, SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (M/C-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
 - ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
 - WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
 - THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
 - REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
 - TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
 - ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
 - COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
 - IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 - WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
 - WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
 - CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION RELATED ACTIVITIES HAVE BEEN REMOVED.

TREE PROTECTION GENERAL NOTES

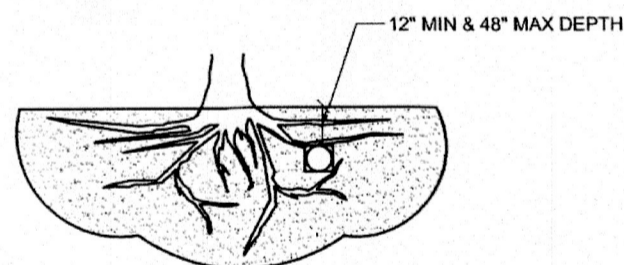
- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.



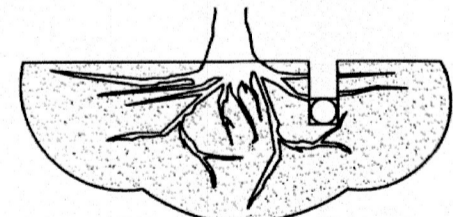
ROOT PRUNING DETAIL

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.

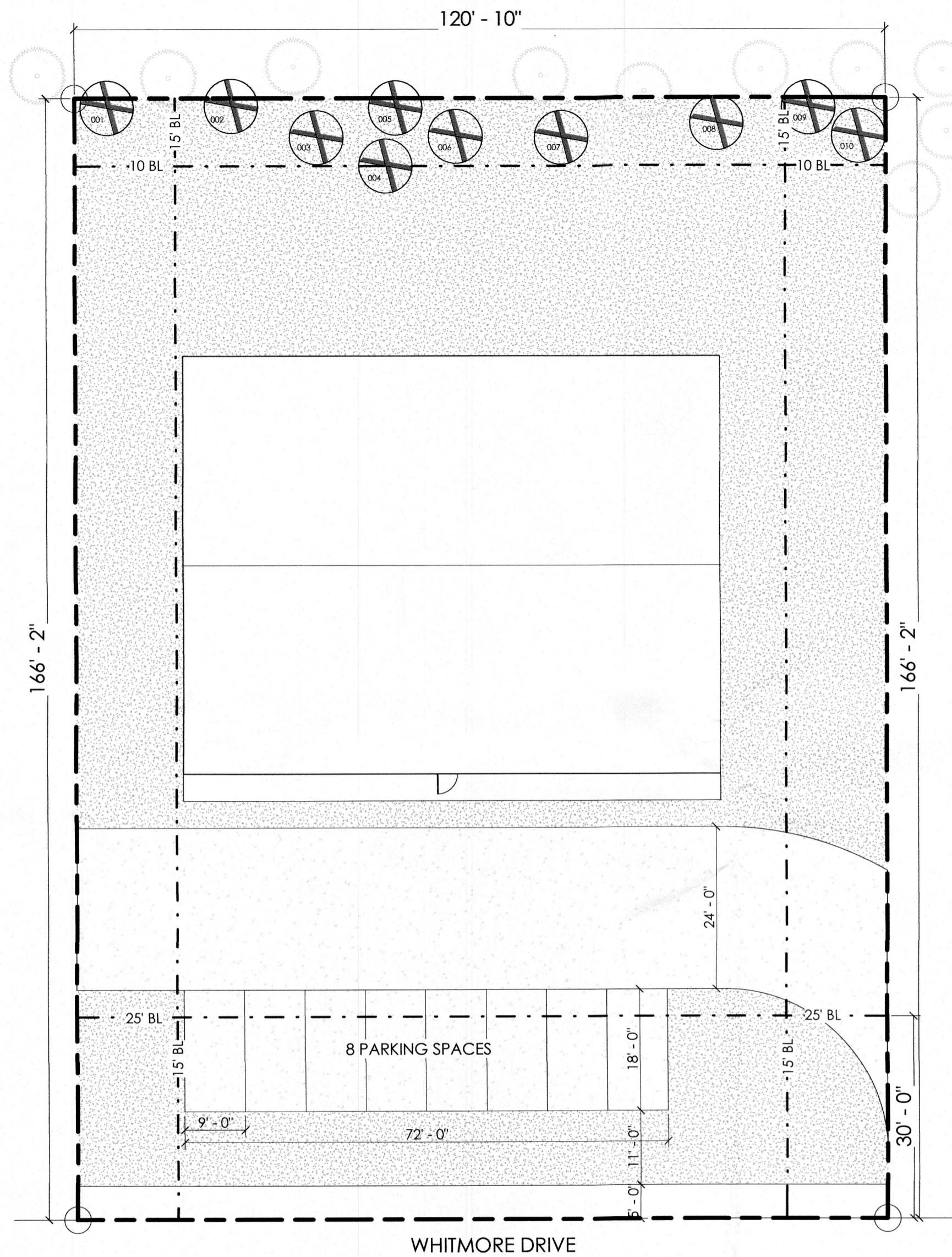


TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



BORING THROUGH ROOT PROTECTION ZONE

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.



TREESCAPE PLAN

3/32" = 1' 0"

SITE PLANE DATE

SIZE OF LOT	16,602 SQ.FT.
BUILDING	4,960 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,490 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	9,924 SQ.FT. (59%)
DRIVEWAY	2,974 SQ.FT.
PARKING	1,296 SQ.FT.
TOTAL COVERED AREA	9,230 SQ.FT.
COVERAGE PERCENT	56%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO
NOVA AIR LLC

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

Gamma Group, Design & Construction LLC
33 09 ELM ST # 250, Dallas Texas, 75228
www.gammagroup-usa.com
(469)-583-7174 & (469)-463-2761

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EXISTING TREE LEGEND

EXISTING TREE OFF SITE

EXISTING TREE TO BE REMOVED

DIRECTION:

REV. NO.	DATE	COMMENTS

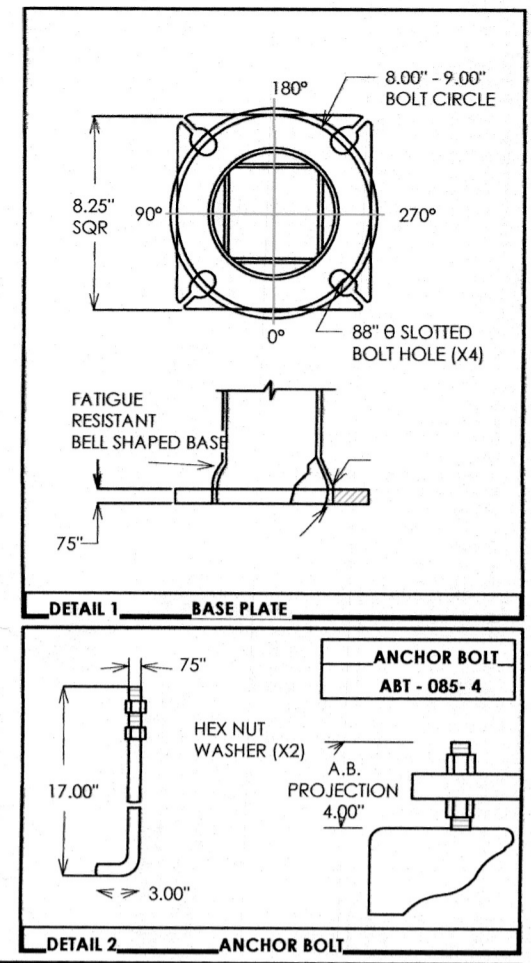
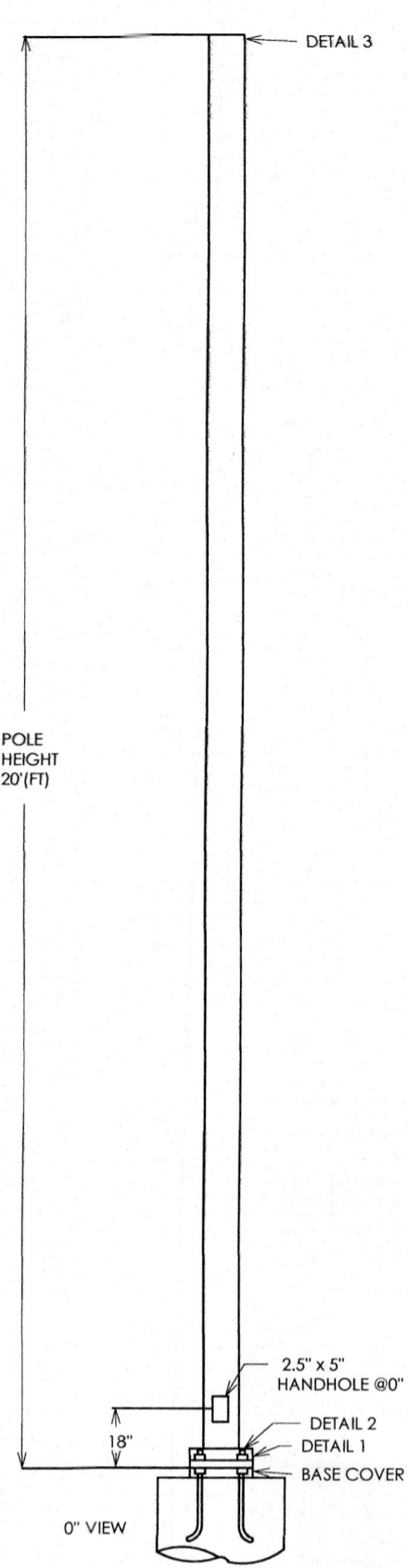
EXPIRATION DATE: PAPER SIZE 36X24

PLAN: **TRESCAPE PLAN DETAILS & SPECIFICATIONS**

DATE: 09/08/2023

DRAW BY: F.G.M. SHEET 04 OF 08

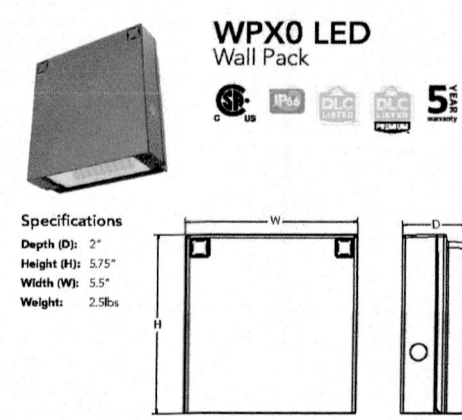
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- 1) HARDWARE TO BE GALVANIZED TO ASTM A153
- 2) ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER A153
- 3) ALL WELDING TO CONFORM TO: AWS D11 MOST RECENT EDITION
- 4) FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION
- 5) PROVISIONS FOR CROWDING LOCATED AT BASE HOLE.

LOADING DATA		MATERIAL DATA				
DESIGN CRITERIA:	COMMERCIAL STANDARD	COMPONENT	ASTM			
SPEED (mph)	80 90 100 110 120 130 140 150	POLE SHAFT	A300 GR. B			
EPA FT.	9.6 6.7 4.5 3.5 2.0 0.8	BASE PLATE	A36			
WEIGHT (lbs)	240 167 150 88 50 20	ANCHOR BOLTS	F1554 GR.55			
FINISH		MISC. STEEL	A38			
TBD						
POLE DIMENSION DATA						
TYPE	DESIGN	POLE LENGTH (FT)	BASE DIA (IN)	TOP DIA (IN)	GAUGE OR THK (IN)	WEIGHT (LBS)
	SNS-20-40-11-AB	20	4.00	4.00	11 - GA (11.96")	140

GENERAL NOTES



Introduction
The WPX0 LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in four sizes, the WPX0 family delivers 82 to 9,200 lumens with a wide, uniform distribution. The WPX0 full cut-off wall pack is an excellent choice for door lighting solution. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Standard features such as Adjustable Lumen Output (ALC), color switching and switchable photocell make WPX0 ideal for any application.

Ordering Information EXAMPLE: WPX0 LED ALO SSW2 MVOLT PE DBDX

Series	Color Temperature	Output	Beam	Mount	Backbone
WPX0 LED	80-140 Lumens	SSW2 3000K/4000K/5000K	MVOLT	20V-27V	DBDX Backbone

NOTE: The lumen output and input power shown in the ordering tree are average representations of all configurations.

FEATURES & SPECIFICATIONS
INTENDED USE
The WPX0 LED wall packs are designed to provide a cost-effective, energy-efficient solution for HID wall pack replacement and new construction opportunities. Available in four sizes, the WPX0 family delivers 82 to 9,200 lumens with a wide, uniform distribution. The WPX0 full cut-off wall pack is an excellent choice for door lighting solution. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Standard features such as Adjustable Lumen Output (ALC), color switching and switchable photocell make WPX0 ideal for any application.

CONSTRUCTION
WPX0 features a cast aluminum body with optimal thermal management that both enhances LED efficacy and extends component life. The backbones are IP60 rated and meet applicable mechanical specifications.

ELECTRICAL
WPX0 features a wide range of high-efficiency LEDs and LED lumen maintenance of 80/100,000 hours. Other temperature CCTs can be selected between 3000K, 4000K, and 5000K with minimum CR of 80. Electrical data varies by power factor (PF) and THD (%). The backbones operate on MVOLT (20V-27V) input.

INSTALLATION
WPX0 can be mounted directly over an existing electrical junction box. A port on the back surface allows for the replacement of existing HID wall packs. The WPX0, WPX1, WPX2 and WPX3 are designed for mounting on 1.5 inch, 2.0 inch, 2.5 inch and 3.0 inch diameter respectively. WPX0 features a universal, wide distribution. WPX0 is rated for 40°C to 80°C.

TESTING
CUL Certified to meet UL E and Canadian standards. Suitable for use in wet locations. IP66 Rated. DesignLight Consortium (ELC) qualified product. All versions of this product may be ETL certified. Please check the ETL Qualified Products List for details.

WARRANTY
5-year limited warranty. This is the only warranty provided and no other warranties in this specification shall constitute any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.lithonia.com

Note: Actual performance may differ as a result of end user environment and application. All values are typical or typical values. Material under laboratory conditions at 25°C. Specifications subject to change without notice.

Performance Data

Model	Height (ft)	Beam (ft)	Beam (m)	Beam (in)	Beam (mm)
AD1	13.8	6.11	0.96	0.03	0.03
AD2	9.2	6.08	0.94	0.03	0.03
AD3	7.8	6.07	0.94	0.03	0.03
AD1	6.4	6.05	0.93	0.03	0.03

Projected LED Lumen Maintenance
Data obtained for an installed luminaire operating at a 25°C ambient based on 60,000 hours of LED testing based on ENEC LM 80-06 and reported per ENEC LM 21-15. To calculate LM, use the lumen maintenance factor that corresponds to the desired number of operating hours based on other lumen maintenance values, contact factory.

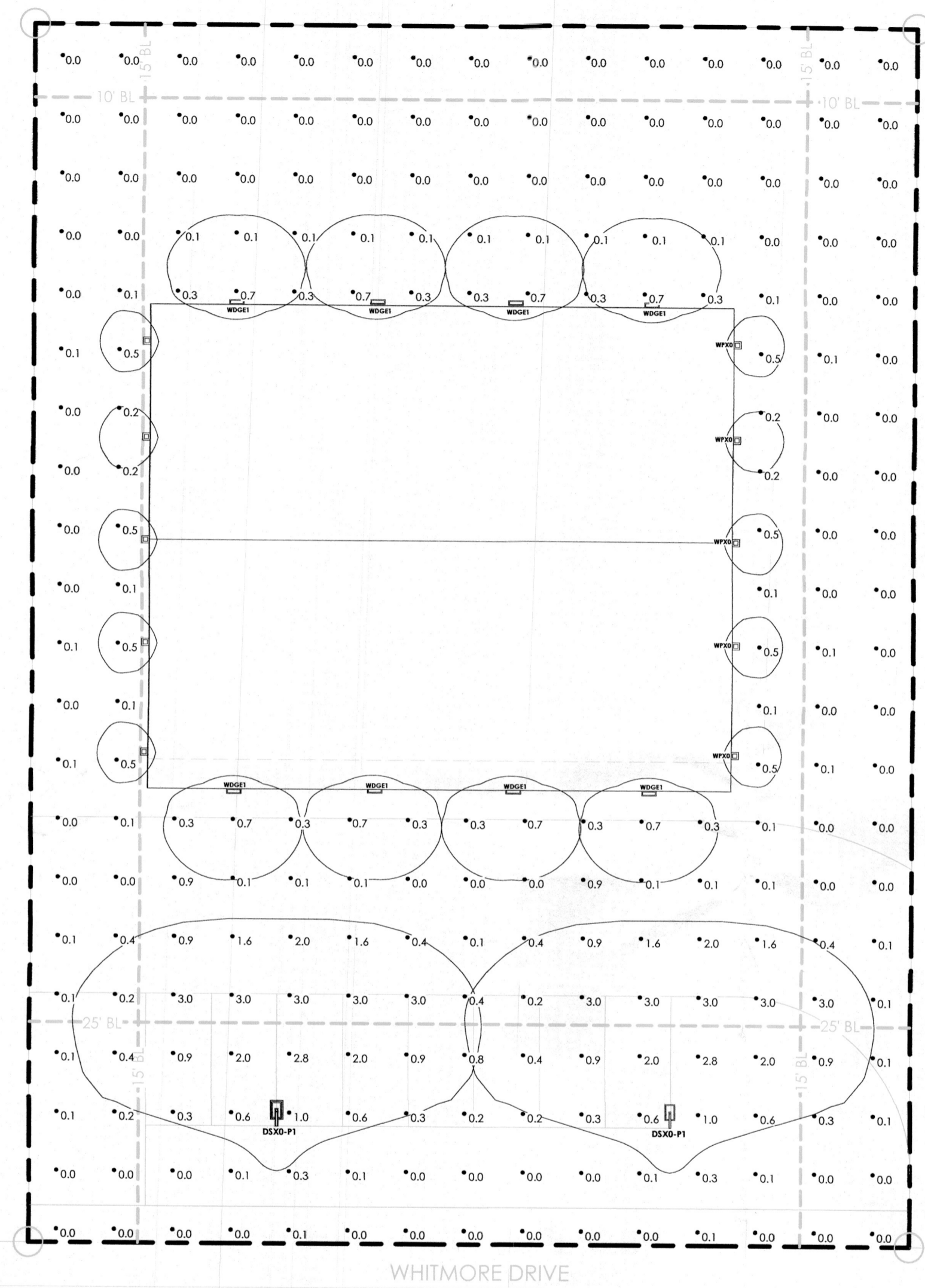
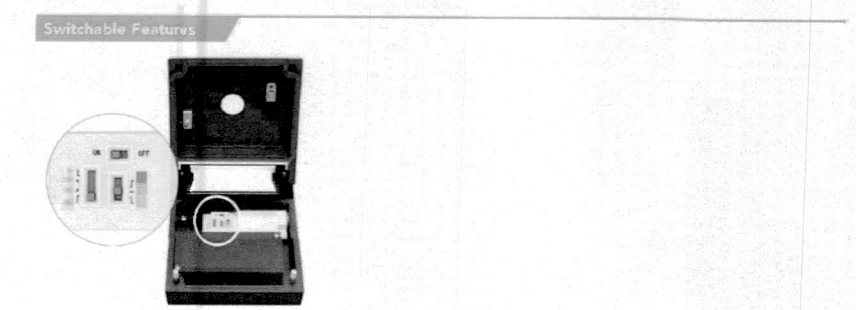
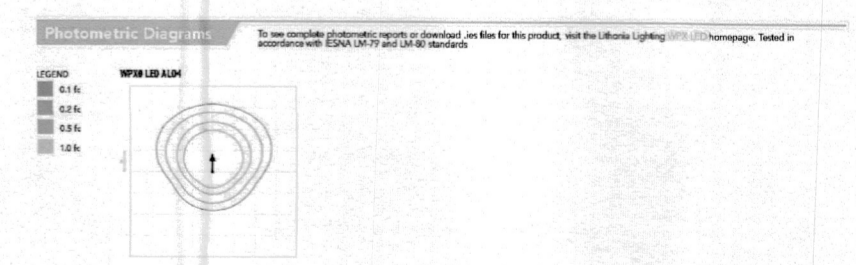
Operating Hours	50,000	75,000	100,000
Lumen Maintenance	>80	>80	>80

Lumen Output

Model	Color Temp	Beam	Beam	Beam	Beam
AD1	3000K	1,391	1,444	1,467	1,484
	4000K	1,444	1,467	1,484	1,501
	5000K	1,467	1,484	1,501	1,518
	6000K	1,484	1,501	1,518	1,535
AD2	3000K	994	1,017	1,040	1,063
	4000K	1,017	1,040	1,063	1,086
	5000K	1,040	1,063	1,086	1,109
	6000K	1,063	1,086	1,109	1,132
AD3	3000K	814	837	860	883
	4000K	837	860	883	906
	5000K	860	883	906	929
	6000K	883	906	929	952

Lumen Ambient Temperature (LAT) Multipliers
Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Average Ambient Temperature (°C)	Multiplier
0°C	1.00
5°C	0.99
10°C	0.98
15°C	0.97
20°C	0.96
25°C	0.95
30°C	0.94
35°C	0.93
40°C	0.92
45°C	0.91
50°C	0.90



SITE PHOTOMETRICS PLAN

3/32" = 1' 0"

SYMBOL	TYPE	QTY	MANUFACTURER / CATALOG NUMBER	TOTAL LUMEN OUTPUT	TOTAL INPUT WATTS	BALLAST FACTOR	LIGHT LOST FACTOR	USER DEFINED FACTOR
DSX0-P1	P	2	2 DSX0 LED P6 40K 70CRI 13M MVOLT SPA NLAIR2 PIRHN DBDX / D-SERIES SIZE 0 LED AREA LUMINAIRE (LITHONALIGHTING)	8,800	68.11	1.000	0.850	1.000
WDG01	W	8	WDG01 LED P2 40K 80CRI VF MVOLT SRM PE DBDX / WDG01 LED ARCHITECTURAL WALL SCONCE (LITHONALIGHTING)	7,200	24	1.000	0.800	1.000
WPX0	W	10	WPX0 LED ALO SSW2 MVOLT PE DBDX / WPX0 LED WALL PACK (LITHONALIGHTING)	6,940	20	1.000	0.850	1.000

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO
NOVA AIR LLC

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

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33 09 ELM ST # 250, Dallas Texas, 75228
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ENGINEERING GENERAL NOTES

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM, WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE:
GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

CONTRACTOR NOTES

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

NOTES:

1. SURFACE REFLECTANCES: VERTICAL/HORIZONTAL - 50/20
2. MOUNTING HEIGHTS ARE DESIGNATED ON DRAWING WITH E2
3. LUMINAIRE DESCRIPTION DOES NOT NECESSARILY REFLECT SPECIFICATION MODEL NUMBER, CONTACT SALESPERSON FOR VERIFICATION.
4. LIGHTING POWER DENSITY IS CALCULATED BASED ON ESTIMATED BALLAST/DRIVER ENERGY CONSUMPTION. ENGINEER TO VERIFY
5. FOR LUMEN OUTPUT OF SCALE LUMINAIRES, MULTIPLY TOTAL LUMEN OUTPUT BY USER DEFINED FACTOR.
6. CALCULATION VALUES ARE AT HEIGHT INDICATED IN SUMMARY TABLE

DIRECTION:

REV. NO.	DATE	COMMENTS

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: **SITE PHOTOMETRICS & DETAILS**

DATE: 09/08/2023

DRAW BY: F.G.M

SHEET 05 OF 08

